

KALAUPAPA BUILDING INVENTORY

KALAUPAPA - HAWAII

McVEIGH HOME - PRIVATE OWNED STRUCTURES

-Residences, Garages, Sheds, Etc.

McVEIGH HOME - STATE OWNED STRUCTURES

-Building 22 - Former Boiler
-Building 23 - Recreation Building
-Building 24 - Pool Hall
-Building 28 - Dormitory
-Building 12 - Apartment

BISHOP HOME/BAY VIEW HOME - PRIVATE OWNED STRUCTURES

-Building 16 - Chapel
-Private Homes, Sheds, Garages, Etc.

BISHOP HOME/BAY VIEW HOME - STATE OWNED STRUCTURES

-Building 2 - Girls Home
-Building 9 - Nun's Residence
-Building 7 - Hospital(Out-patient clinic)
-Building 282 - Hospital
-Building 283 - Hospital (Fumigation Hall)
-Bay View Home Building 1
-Bay View Home Building 2
-Bay View Home Building 3
-Bay View Home Building 4
-Bay View Home Building 5
-Bay View Home Building 6
-Bay View Home Building 7
-Bay View Home Building 8
-Bay View Home Building 9
-Bay View Home Building 10
-Bay View Home Building 11
-Bay View Building 274 - Visitor quarters
-Bay View Building 275 - Kitchen
-Bay View Building 277 - Wilcox Memorial
-Bay View Building 278 - Visitor Pavilion
-Bay View Building 523 - Patient Rest Room

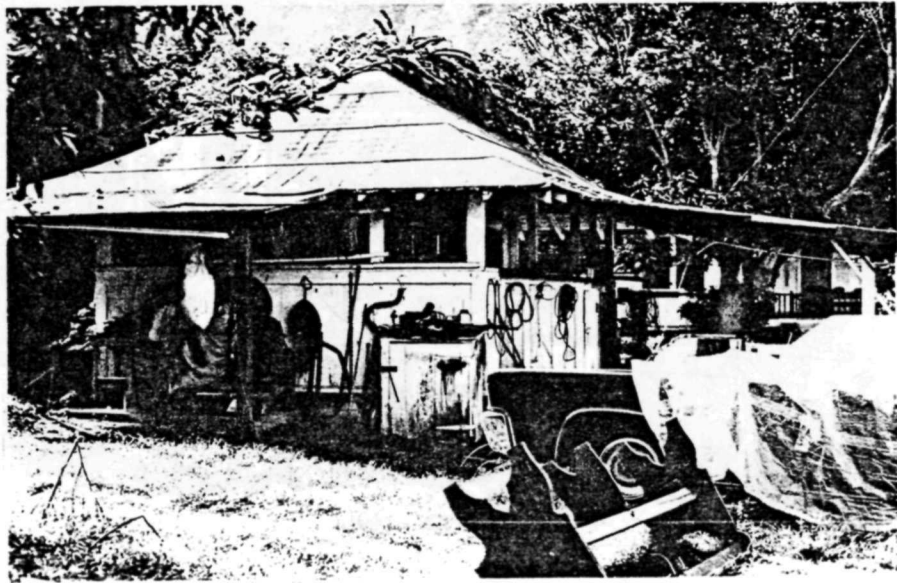
DAMIEN ROAD SOUTH SIDE - PRIVATE OWNED STRUCTURES

-Residences, Garages, Sheds, Etc.

DAMIEN ROAD SOUTH SIDE - STATE OWNED STRUCTURES

-Residences, Garages, Sheds, Etc.

M_CVEIGH HOME (Private Structures)



STRUCTURE: Building 18

LOCATION: McVeigh Home

USE: Storage room

SIZE: 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Before 1939 (1934?)

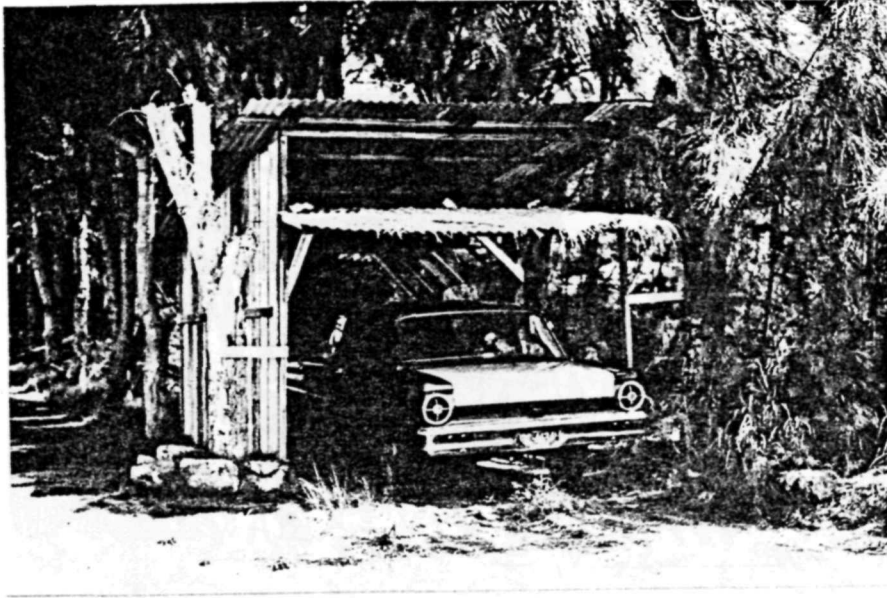
DESCRIPTION: The structure is a single story building of single wall construction. The hip roof is finished with rolled composition roofing. Vegetation is growing out of the roof. The foundation is a concrete slab. The building was originally a laundry house for the patients living in the McVeigh Home. The structure is now considered private (it is no longer on the list of buildings owned by the State). No maintenance is recommended. Removal of this structure, after it is no longer needed, would be an asset to the McVeigh Home.

SIGNIFICANCE: None

MAINTENANCE COST: None

FUTURE MAINTENANCE COST: None

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 510

LOCATION: McVeigh Home (south of Residence 1)

USE: Carport

SIZE: Approx. 12 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

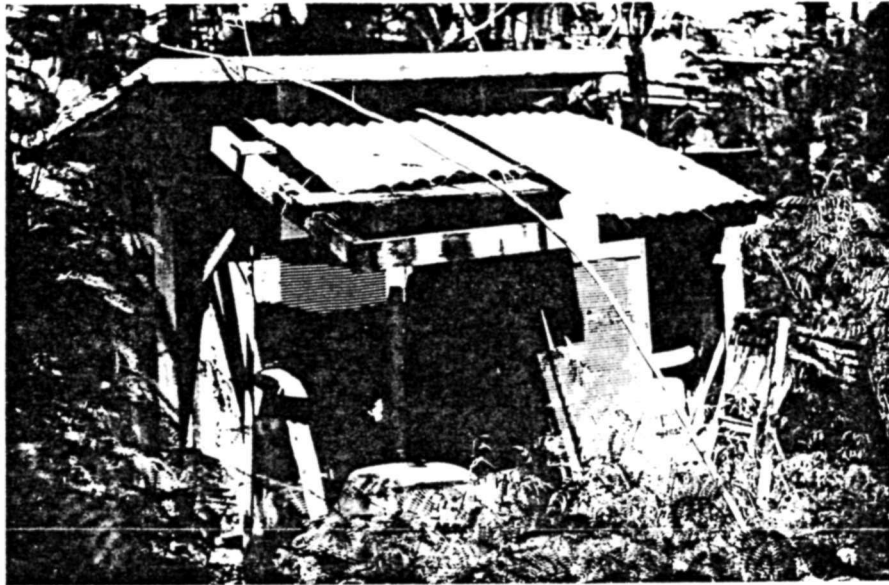
DESCRIPTION: The structure is a frame garage, with two shed roofs (one over-
hanging the other). The building has no foundation. Two sides are open.
The other two sides are finished with vertical siding, complete with girt.

SIGNIFICANCE: None

MAINTENANCE COST: None

FUTURE MAINTENANCE COST: None

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 509

LOCATION: McVeigh Home (south of Residence 1)

USE: None at present

SIZE: 8 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a small wood frame storage building, with two shed roofs at different heights. The structure, with exterior finishes varying from rolled composition roofing material to corrugated metal, to screens and tongue and groove siding, seems to have been constructed of recycled materials.

SIGNIFICANCE: None

MAINTENANCE COST: None

FUTURE MAINTENANCE COST: None

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 508

LOCATION: McVeigh Home (south of Building 3)

USE: Workshop

SIZE: 10 x 12

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a single wall, board and batten structure with a shed roof, finished with green rolled composition roofing. The building seems to have been constructed of recycled materials. The structure is in use as a workshop, although quickly becoming overgrown with vegetation.

SIGNIFICANCE: None

MAINTENANCE COST: None

FUTURE MAINTENANCE COST: None

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 507

LOCATION: McVeigh Home (south of Building 3)

USE: None; former workshop area

SIZE: Approx. 40 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

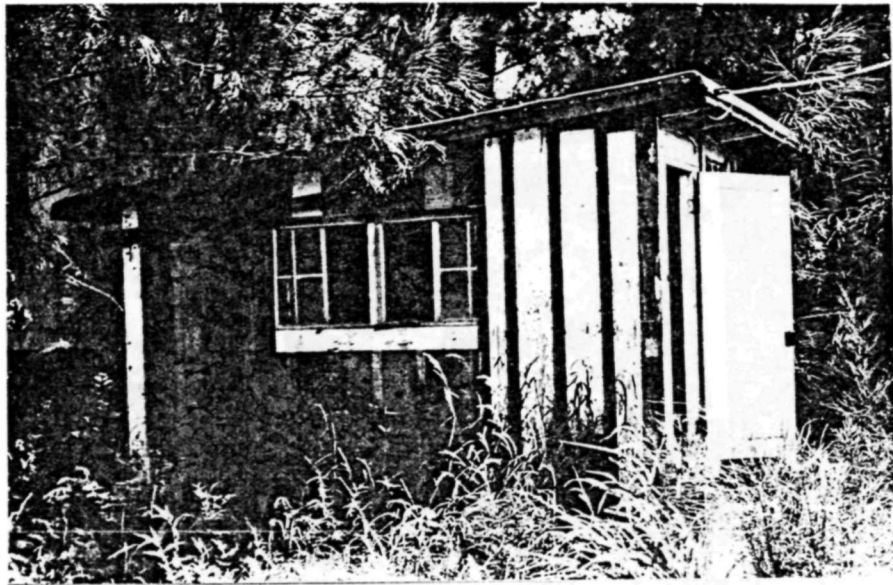
DESCRIPTION: The structure is a wood frame building, with a shed roof. It seems to have been constructed of recycled materials. The building is very overgrown, and about to collapse.

SIGNIFICANCE: None

MAINTENANCE COST: None

FUTURE MAINTENANCE COST: None

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 506

LOCATION: McVeigh Home (behind Building 2)

USE: Storage shed

SIZE: Approx. 10 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a single story building of single wall construction (board and batten). The shed roof is finished with red rolled composition roofing. The foundation is obscured by vegetation. The structure seems to have been made of recycled materials.

SIGNIFICANCE: None

MAINTENANCE COST: None

FUTURE MAINTENANCE COST: None

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 505

LOCATION: McVeigh Home (south of Building 6)

USE: Storage shed

SIZE: Approx. 15 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown .

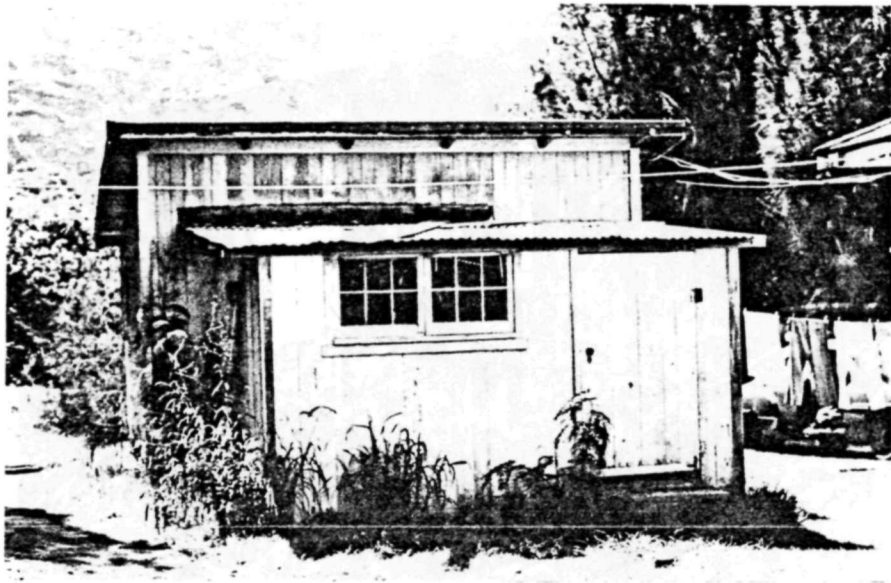
DESCRIPTION: The building is a wood frame storage shed. The shed roof is finished with green rolled composition roofing. The structure is in use, and is probably made up of recycled materials.

SIGNIFICANCE: None

MAINTENANCE COST: None

FUTURE MAINTENANCE COST: None

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 504

LOCATION: McVeigh Home (southeast of Building 6)

USE: Storage and laundry

SIZE: Approx. 20 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a single story building of single wall construction. The shed roof are covered with corrugated metal and rolled composition roofing. The structure is in use. Clearing vegetation from the base would extend the life of the building.

SIGNIFICANCE: None

MAINTENANCE COST: None

FUTURE MAINTENANCE COST: None

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 503

LOCATION: McVeigh Home, east of Building 6

USE: Storehouse?

SIZE: Approx. 12 x 12

OWNERSHIP: Private

DATE OF STRUCTURE: Before 1939?

DESCRIPTION: The structure is a one story building of single wall construction (board and batten). The foundation is not visible, due to vegetation. The hip roof is finished with rolled composition roofing. An addition with a shed roof extends to the right. The structure could have been left from a poultry farm located in the immediate area.

SIGNIFICANCE: None

MAINTENANCE COST: None

FUTURE MAINTENANCE COST: None

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 502

LOCATION: McVeigh Home (east of building 8)

USE: Storage shed

SIZE: Approx. 20 x 25

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a single story building, with a shed roof. The vertical board siding is finished at the edges with end boards. The building is overgrown with vegetation, and has intermittent use, if any at all. The structure could be left over from a poultry farm located in the immediate area during the late 1930s.

SIGNIFICANCE: None

MAINTENANCE COST: None

FUTURE MAINTENANCE COST: None

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 500

LOCATION: McVeigh Home (next to residence 32)

USE: Garage

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: After 1939

DESCRIPTION: The structure is a wood frame, one story garage, with corrugated metal siding. The gently sloping gable roof is also finished with corrugated metal. The structure seems to have been made of recycled materials, and is adequate for its purpose. No evaluation of the condition of this private structure was made.

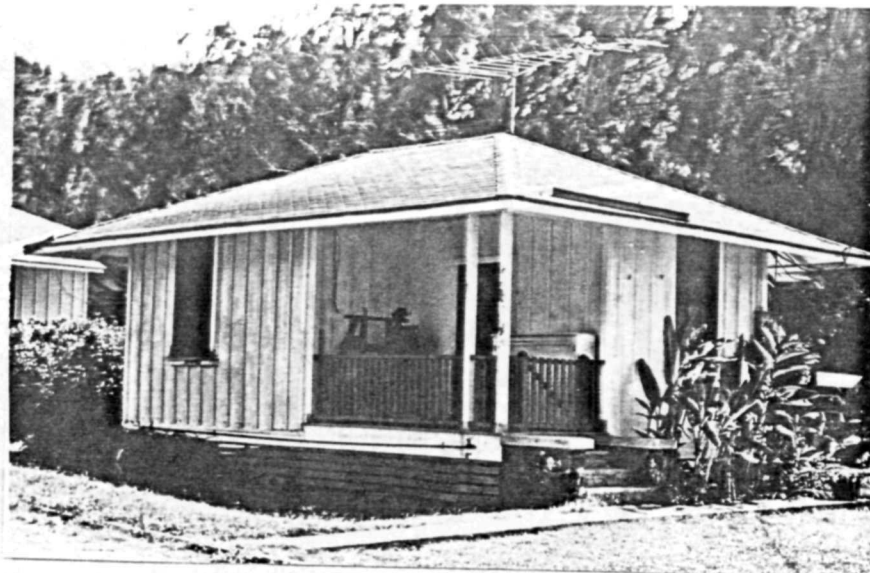
SIGNIFICANCE: None

MAINTENANCE COST: None

FUTURE MAINTENANCE COST: None

DATE OF REPORT: October 11, 1976

McVEIGH HOME (State-Owned Structures)



STRUCTURE: Building 1

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1933

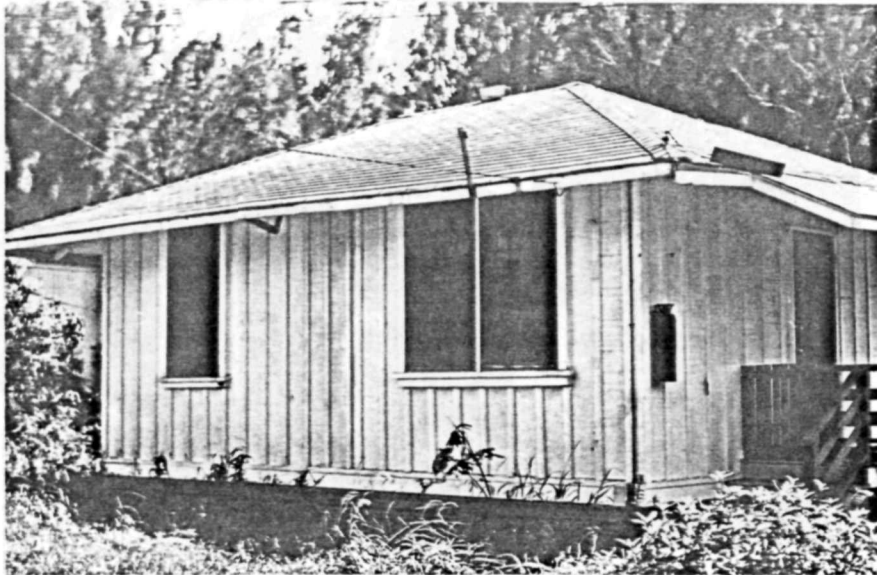
DESCRIPTION: The structure is a one-story building of single wall construction (board and batten), with a concrete pad and post foundation. The hip roof is finished with composition shingles. Concrete and stone steps provide access to the recessed corner porch which is incorporated under the hip roof. The wood window frames of the 12-light double hung windows project several inches from the exterior wall. A wash house section, constructed on a concrete slab and with a shed roof, is located at the rear of the T-shaped structure. The building is occupied, and is in good condition, although in need of painting (particularly window sills)

SIGNIFICANCE: Part of McVeigh Home

MAINTENANCE COST: \$2000

FUTURE MAINTENANCE COST: \$350/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 2

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1933

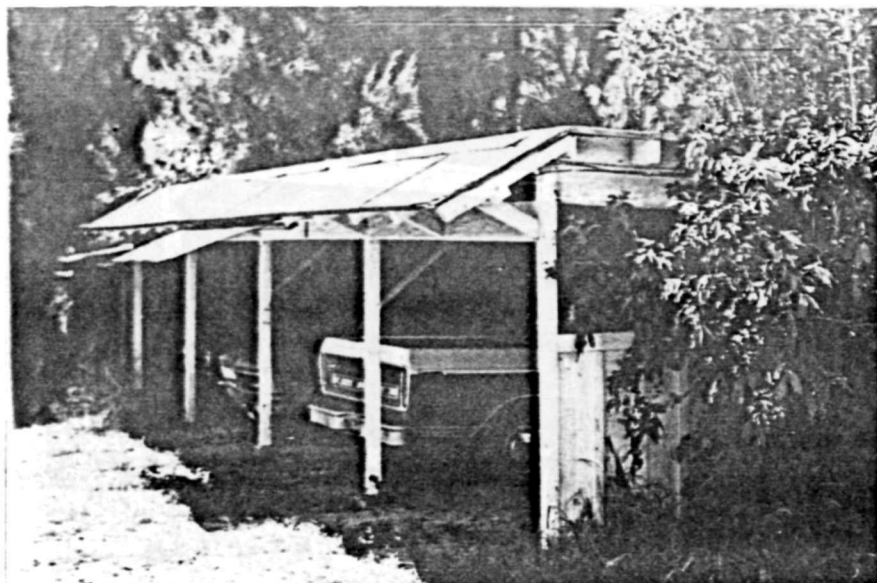
DESCRIPTION: The one-bedroom structure is a one-story building of single wall construction (board and batten), with a concrete pad and post foundation. The hip roof is finished with composition shingles. A small wooden porch with a shed roof is located at the west side of the building. The wood window frames of the 12-light double-hung windows project several inches from the exterior wall. A wash house area, constructed on a concrete slab and with a shed roof, is located at the rear of the T-shaped structure. The building is assigned to a patient, but is presently unoccupied. The structure is in poor condition. Vegetation should be cleared from the base of the structure. The building should be fumigated, boards deteriorated by termites should be replaced, and the structure painted.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$2500

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 3

LOCATION: McVeigh Home

USE: 4 car garage

SIZE: Approx. 18 x 40

OWNERSHIP: State

DATE OF STRUCTURE: 1933

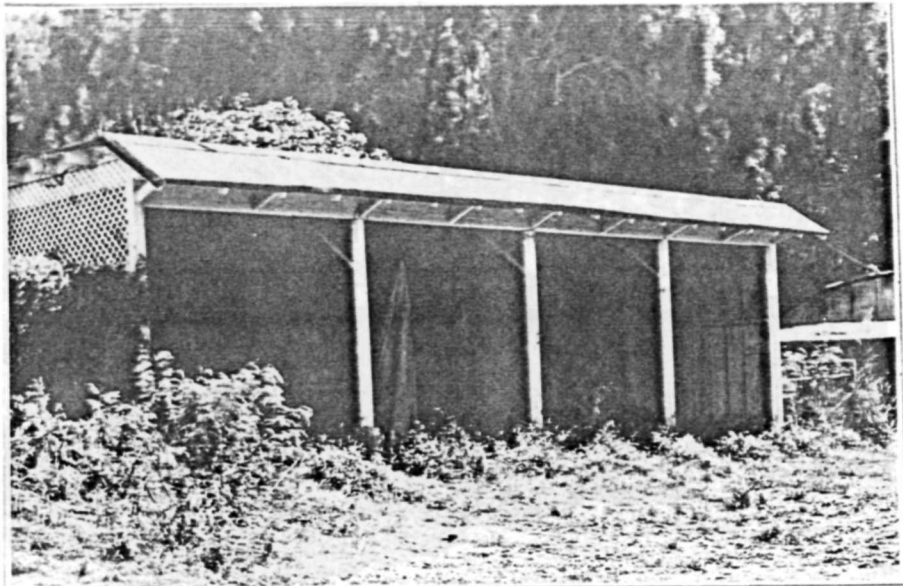
DESCRIPTION: The structure is a one story garage, of single wall construction. The foundation is concrete; the floor is dirt. The shed roof is finished with rolled composition roofing. The building has a private one room addition which has been constructed at the southeast corner. The building is in poor condition, but should be maintained until it is no longer needed or until it becomes a hazard, at which time it should be removed.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 4

LOCATION: McVeigh Home

USE: Garage

SIZE: Approx. 18 x 40

OWNERSHIP: State

DATE OF STRUCTURE: 1933

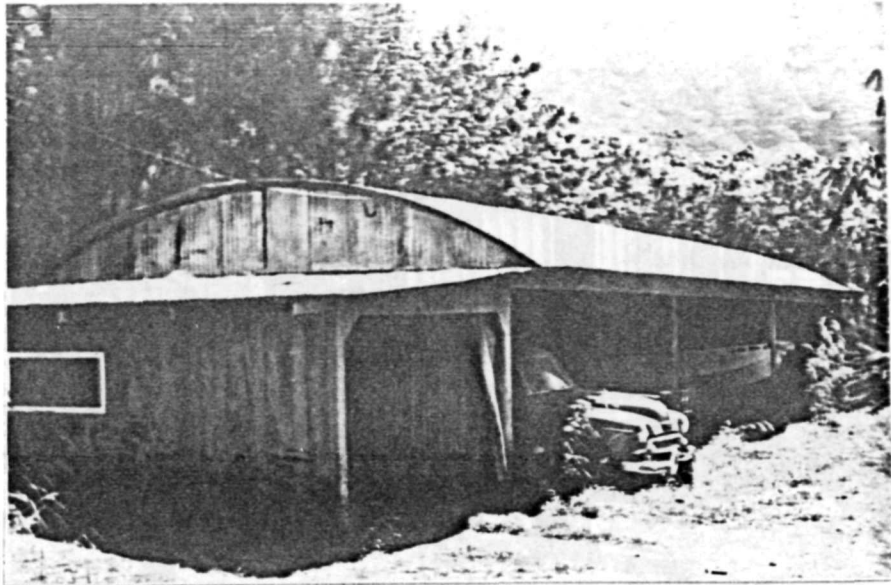
DESCRIPTION: The structure is a one story four-car garage, of single wall construction. The foundation is stone, the floor is dirt. The shed roof is finished with rolled composition roofing. The building is in poor condition (termites, rot, etc.), but should be maintained until it is no longer needed or until it becomes a hazard, at which time it should be removed.

SIGNIFICANCE: None

MAINTENANCE COST: No estimates done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 4-A

LOCATION: McVeigh Home

USE: Garage

SIZE: Approx. 20 x 60

OWNERSHIP: State

DATE OF STRUCTURE: Unknown (post 1939)

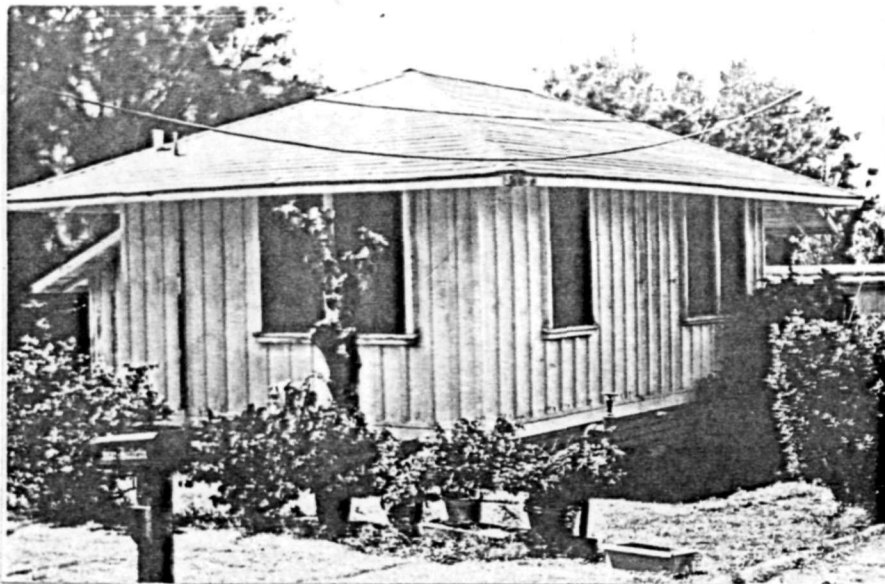
DESCRIPTION: The structure is a six-car garage of metal and wood frame construction. The quonset roof, with metal framing members is finished with corrugated metal, as are the walls of the structure. A wood frame addition, with a corrugated metal shed roof was constructed as the north end of the structure. The building is in fair condition, and should be maintained until it is no longer needed, or until it becomes a hazard, at which time it should be removed.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 11, 1977



STRUCTURE: Residence 5

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 625 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: Pre-1939

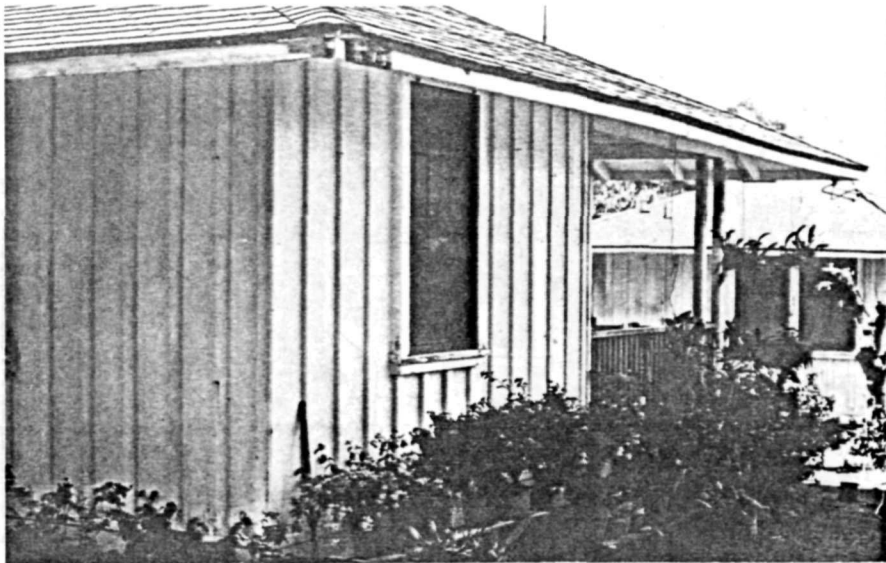
DESCRIPTION: The structure is a one-story building of single wall construction (board and batten), with a concrete pad and post foundation. The hip roof is finished with red composition shingles. A small wooden porch with a shed roof is located at the west of the structure. The wood window frames of the 12-light double-hung windows project several inches from the exterior wall. A washroom, constructed on a concrete slab and with a shed roof, is located at the rear of the T-shaped structure. The structure is occupied and in fair condition. The building should be fumigated, boards deteriorated by termites should be replaced (particularly in the eaves), and the structure should be painted.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$2250

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 6

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1933

DESCRIPTION: The structure is a one-story building of single wall construction (board and batten), with a concrete pad and post foundation. The hip roof is finished with green composition shingles. Steps on the west side of the structure provide access to the recessed corner porch which is incorporated under the hip roof. The wood frames of the 12-light double hung windows project several inches from the exterior wall. An exterior washroom, constructed on a concrete slab and with a shed roof, is located at the rear of the T-shaped structure. The building is occupied, and in fair condition. The structure is in need of painting, fumigation and minor board replacement. Vegetation should be cleared from the base of the structure to discourage further rot and termite damage.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$1750

FUTURE MAINTENANCE COST: \$350/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 8

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 550 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1933

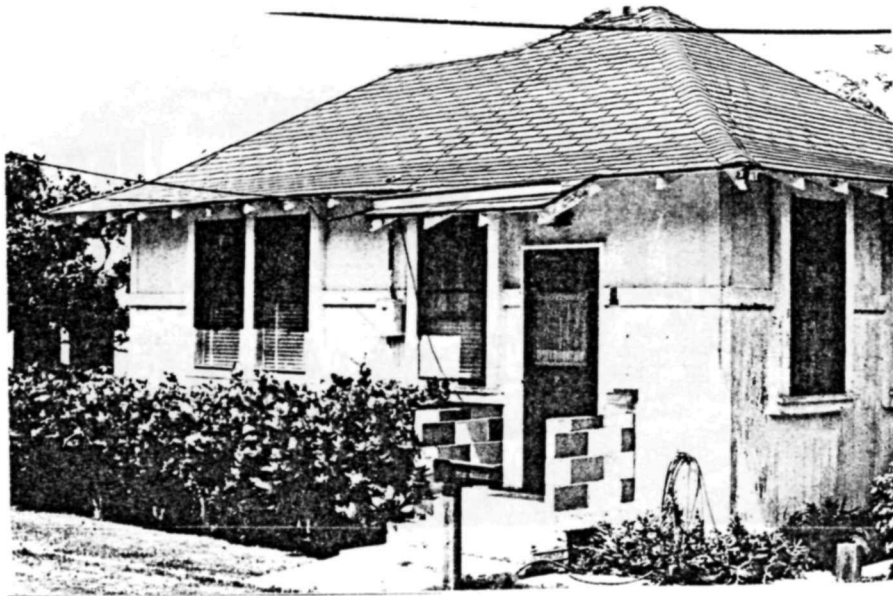
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The hip roof (irregularly shaped, and with a broken pitch) is finished with red composition shingles. A small concrete entrance porch at the south side of the structure is edged by hollow tile railings. The wood frames of the 12-light double hung windows project several inches from the exterior wall. A broken girt surrounds the exterior wall and the corners of the structure are finished with cornerboards. A highly compatible addition was completed recently on the southeast corner of the structure. A partially enclosed exterior washroom constructed on a concrete slab and with a shed roof, is located at the rear of the T-shaped structure. The building is occupied, and is in fair to good condition, although in need of fumigation and painting.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 9

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1933

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The irregularly shaped hip roof has broken pitch, and is finished with red composition shingles. A small concrete entrance porch is edged by hollow tile solid railings. The wood frames of the 12-light double-hung windows projects several inches from the exterior wall. A broken girt surrounds the exterior of the building. The corners of the structure are finished with cornerboards. A partially enclosed exterior washroom, constructed on a concrete slab and with a shed roof, is located at the rear of the L-shaped structure. The building is occupied, and is in fair condition. The structure is in need of some board replacement, fumigation, and painting.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$1560

FUTURE MAINTENANCE COST: \$350/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 10

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 550 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1933

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The irregularly shaped hip roof has a broken pitch, and is finished with red composition shingles. A small concrete entrance porch at the southeast corner of the structure is edged by hollow tile solid railings. The wood frames of the 12-light double hung windows project several inches from the exterior wall. A broken girt encircles the exterior. The corners of the structure are articulated by cornerboards. An exterior washroom, constructed on a concrete slab and with a shed roof, is located at the rear of the L-shaped structure. The building is occupied, and is in good condition. The structure is in need of some minor board replacement, fumigation and painting.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$1050

FUTURE MAINTENANCE COST: \$350/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 11

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 450 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1929

DESCRIPTION: The structure is a one-story building of single wall construction, with a pad and post foundation. The hip roof is finished with red composition shingles. Concrete and stone steps provide access to the recessed corner porch which is incorporated under the hip roof. The post and pilasters articulating the porch corners are chamfered. Other corners of the structure are finished with cornerboards. The wood frames of the 12-light double-hung windows project several inches from the exterior wall. A broken girt encircles the exterior. A partially enclosed exterior washroom, constructed on a concrete slab and with a shed roof, is located at the rear of the rectangular structure. The structure is assigned to a patient, but presently is vacant. The building is in good condition, although in need of some foundation work, minor board replacement, fumigation and touch-up painting.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$1650

FUTURE MAINTENANCE COST: \$340/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 12

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 3,500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1929

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The main hip roof (with gablet) is flanked by hip roofs of the wings at the east and west ends of the structure. The roofs are finished with wood shingles. A railing with a traditional vernacular pattern encloses the recessed veranda, incorporated under the main roof. Corners of the structure are finished with cornerboards. The wood frames of the 12-light windows project several inches from the exterior wall. A broken girt encircles the exterior. The structure is divided into 4 1-bedroom apartments, and is occupied. The building is in fair to poor condition. Vegetation should be cleared from the base, the shingle roof should be patched (with the original material), rotted and termite-eaten wood should be removed and replaced. The structure should be fumigated and painted.

SIGNIFICANCE: McVeigh Home, one of the three original structures

MAINTENANCE COST: \$33,000

FUTURE MAINTENANCE COST: \$1000/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 13

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 450 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1933

DESCRIPTION: The structure is a one-story building of single wall construction, with a pad and post foundation. The broken-pitch hip roof is finished with green composition shingles. Concrete and stone steps provide access to the recessed corner porch which is incorporated under the hip roof. A post and two pilasters articulate the edges of the porch. Other corners of the structure are finished with cornerboards. The wood frames of the 12-light double-hung windows project several inches from the exterior wall. A broken girt encircles the exterior. A partially enclosed exterior washroom, constructed on a concrete slab and with a shed roof, is located at the rear of the rectangular structure. The structure is in poor condition. Vegetation and earth should be cleared away from the base of the structure. Much of the wood in the structure, including some in the settling foundations should be replaced. The building should be fumigated, and painted.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$4900

FUTURE MAINTENANCE COST: \$350/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 14

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 550 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The irregularly-shaped hip roof has a broken pitch, and is finished with green composition shingles. A wooden porch with a shed roof is located at the west side (main entrance) of the structure. The wood frames of the 12-light double-hung windows project several inches from the exterior wall. A broken girt encircles the exterior. The corners of the structure are finished with cornerboards. The rectangular structure is unoccupied, and in fair condition. Vegetation should be cleared from the base of the structure, and the tree leaning against the west side of the roof should be trimmed or removed. The building is in need of some board replacement and roof work; it should also be fumigated and painted.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$2680

FUTURE MAINTENANCE COST: \$360/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 15

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 550 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The irregularly-shaped hip roof has a broken pitch, and is finished with composition shingles. Concrete and stone steps provide access to the recessed corner porch which is incorporated under the hip roof. A post and two pilasters articulate the edges of the porch. Other corners of the structure are finished with cornerboards. The wood frames of the 12-light double-hung windows project several inches from the exterior wall. A broken girt encircles the exterior. A frame carport with a shed roof has been added to the west side of the structure. The building is in fair condition, although in need of lumber replacement particularly in the foundation, painting and fumigation. The structure is occupied.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$2800

FUTURE MAINTENANCE COST: \$350/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 16

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932

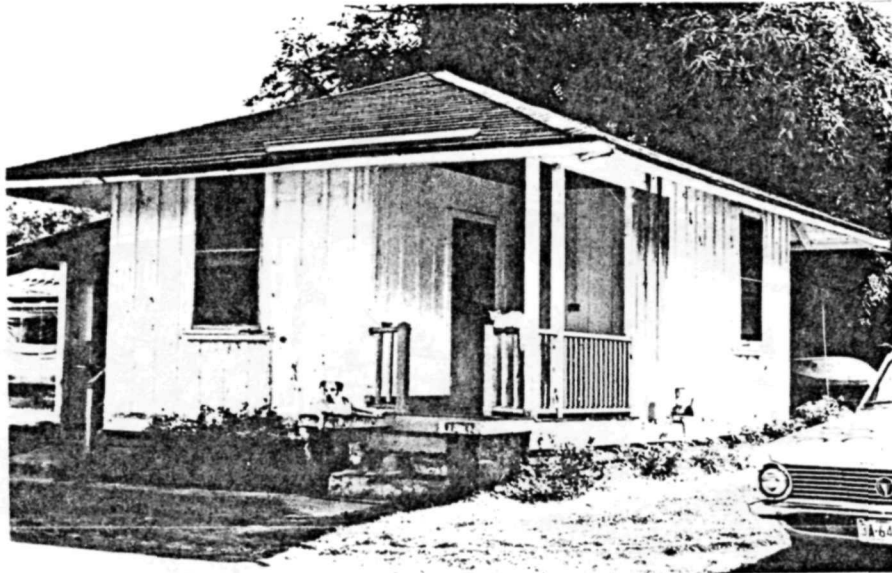
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The irregularly shaped hip roof has a broken pitch, and is finished with green composition shingles. Concrete steps with solid stone rails provide access to the recessed corner porch which is incorporated under the hip roof. A post and two pilasters articulate the edges of the porch. Other corners of the structure are finished with cornerboards. A broken girt encircles the exterior. The wood frames of the 12-light double hung windows project several inches from the exterior wall. A partially enclosed porch, constructed on a concrete slab and with a shed roof, is located at the rear of the rectangular structure. The building is occupied, and in good condition, although in need of minor board replacement and painting, and fumigation.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$1800

FUTURE MAINTENANCE COST: \$350/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 19

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932

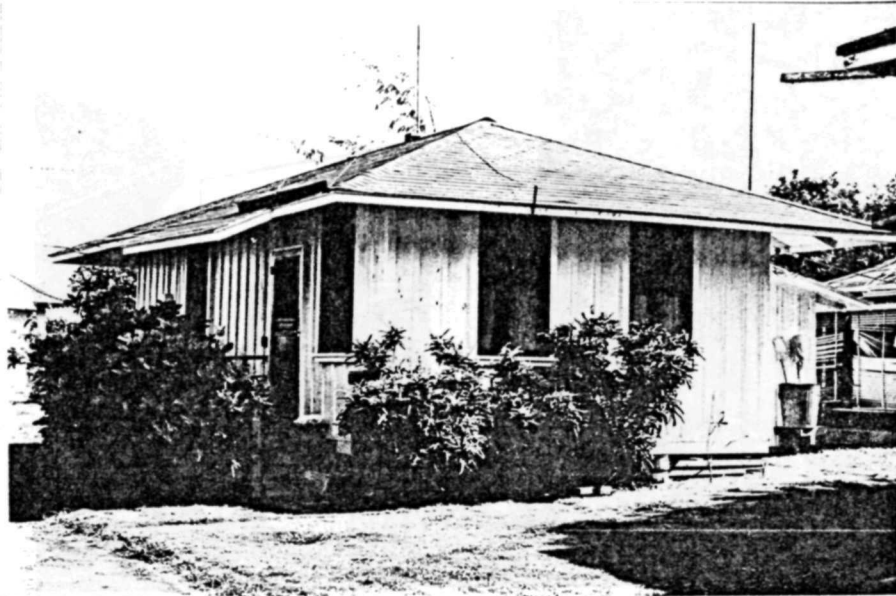
DESCRIPTION: The structure is a one-story building of single wall construction (board and batten), with a concrete pad and post foundation. The hip roof is finished with composition shingles. Concrete steps with stone railings provide access to the recessed corner porch which is incorporated under the hip roof. The wood window frames of the 12-light double-hung windows project several inches from the exterior wall. A partially enclosed shed, constructed on a concrete slab, is located at the north side of the structure. The building is occupied, and in fair to poor condition. The old layers of roofing should be removed when the new roof is put on (soon). Termite-eaten wood should be replaced, and the structure should be fumigated, scraped and painted.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$2950

FUTURE MAINTENANCE COST: \$350/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 20

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 520 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1933

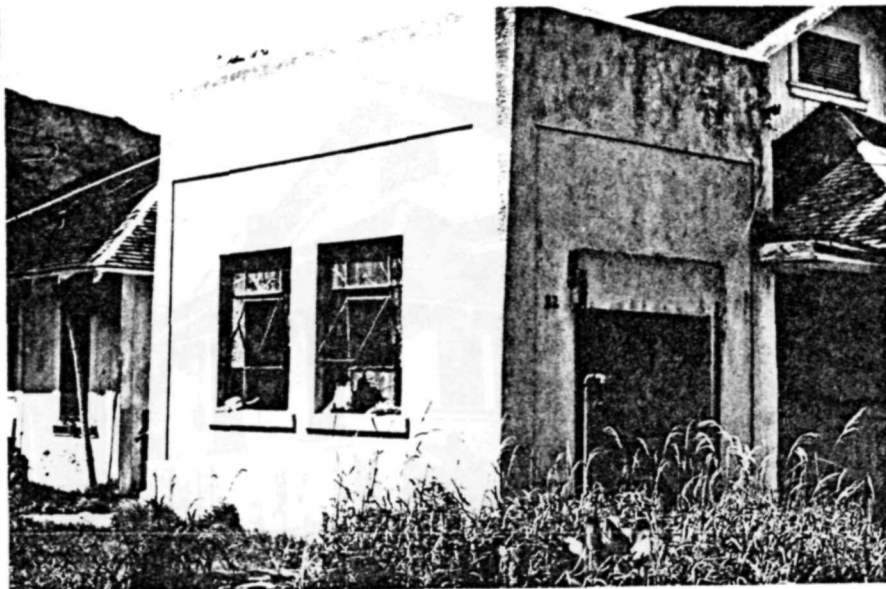
DESCRIPTION: The structure is a one-story building of single wall construction (board and batten), with a concrete pad and post foundation. The hip roof is finished with red composition shingles. The wood frames of the 12-light double-hung windows project several inches from the exterior wall. A partially enclosed washroom, on a concrete slab and with a shed roof, is located at the rear of the structure. The building is occupied, and in good condition. The structure should be fumigated.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$1000

FUTURE MAINTENANCE COST: \$415/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 22

LOCATION: McVeigh Home

USE: Former boiler room, not in use at present

SIZE: 12 x 20

OWNERSHIP: State

DATE OF STRUCTURE: Pre-1939

DESCRIPTION: The structure is a reinforced concrete building with a cement stucco exterior finish. The metal frame industrial windows have fixed and hinged sash. The foundation and floor are concrete. The building is in poor condition, and should be demolished.

SIGNIFICANCE: The building was probably constructed during the expansion of the McVeigh Home in circa 1933. The structure does not fit with the architectural fabric of McVeigh Home, and should be removed. The building was not one of the original structures of the McVeigh Home.

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 23

LOCATION: McVeigh Home

USE: Recreation Building (now receives intermittent use)

SIZE: Approx. 4000 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1929

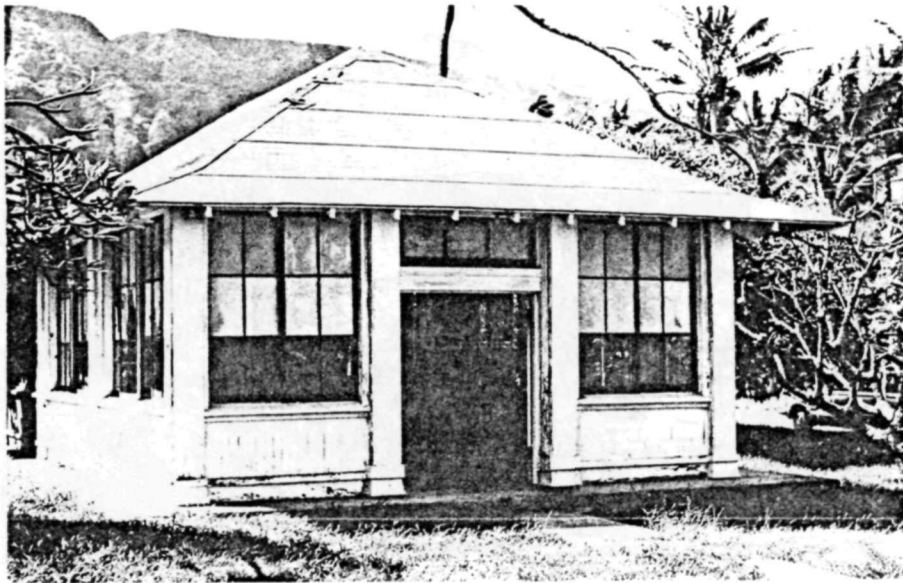
DESCRIPTION: The structure is a one-story symmetrical building of single wall construction, with a concrete pad and post foundation. The gable roof skirting which continues around the north and south gable ends of the structure, intersecting the hip roofs of the wings. The roof finish is wood shingles. A recessed veranda is incorporated under the main section of the building. Corners of the structure are finished with cornerboards. The posts on the veranda are chamfered. The ceiling of the veranda is finished with tongue and groove planking. The wood frames of the 12-light double-hung windows project an inch from the exterior wall. The building seems to have had many additions, including the concrete loading platform and roof at the rear (east) connecting it with Building 22. The structure is in fair to poor condition. Because of termites, much of the wood in the structure should be replaced. The structure should be fumigated, painted, re-roofed and cleared of vegetation. All broken glass should be replaced.

SIGNIFICANCE: McVeigh Home, one of three original structures

MAINTENANCE COST: \$38,510

FUTURE MAINTENANCE COST: \$1150/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 24

LOCATION: McVeigh Home

USE: Formerly pool hall

SIZE: 22 x 38

OWNERSHIP: State

DATE OF STRUCTURE: 1932

DESCRIPTION: The structure is a one-story symmetrical building of single wall construction, built on a concrete slab. The hip roof is finished with rolled composition roofing paper and composition shingles. Windows comprise the greatest amount of wall section. Many of these windows, which are built on tracks to slide open for ventilation, are broken and in need of replacement. The building is finely detailed, with two pilasters on each side, and one on each corner articulating the structure and the building edges. The building is in fair condition, although in need of painting, lumber replacement, re-roofing, and fumigation.

SIGNIFICANCE: McVeigh Home, visual focal point.

MAINTENANCE COST: \$3510

FUTURE MAINTENANCE COST: \$450/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 25

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 420 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1932

DESCRIPTION: The structure is a one-story building of single wall construction, with a pad and post foundation. The hip roof has a broken pitch, and is finished with green composition shingles. A small concrete entrance porch is located at the southeast corner of the structure. The wood frames of the 12-light double-hung windows project several inches from the exterior wall. A broken girt surrounds the exterior of the building. The building is occupied, and is in fair condition. Vegetation should be cleared from the base of the structure, some of the wood should be replaced, and the structure should be painted and fumigated.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$1460

FUTURE MAINTENANCE COST: \$340/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 27

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 420 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation which is obscured by vegetation. The irregularly shaped hip roof has a broken pitch, and is finished with composition shingles. A small concrete entrance porch at the front of the structure is edged by hollow tile solid railings. The wood frames of the 12-light double-hung windows project several inches from the exterior wall. A broken girt encircles the exterior. The corners of the structure are finished with cornerboards. A shed is located at the rear of the structure. The structure is not occupied, and in fair to poor condition. Old roofing should be stripped when new roofing is applied. Vegetation should be cleared from the base and sides of the building. Some wood needs replacement. The structure should be fumigated, scraped and painted.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$1460

FUTURE MAINTENANCE COST: \$340/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 28

LOCATION: McVeigh Home

USE: Former Dormitory

SIZE: Approx. 3500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1929

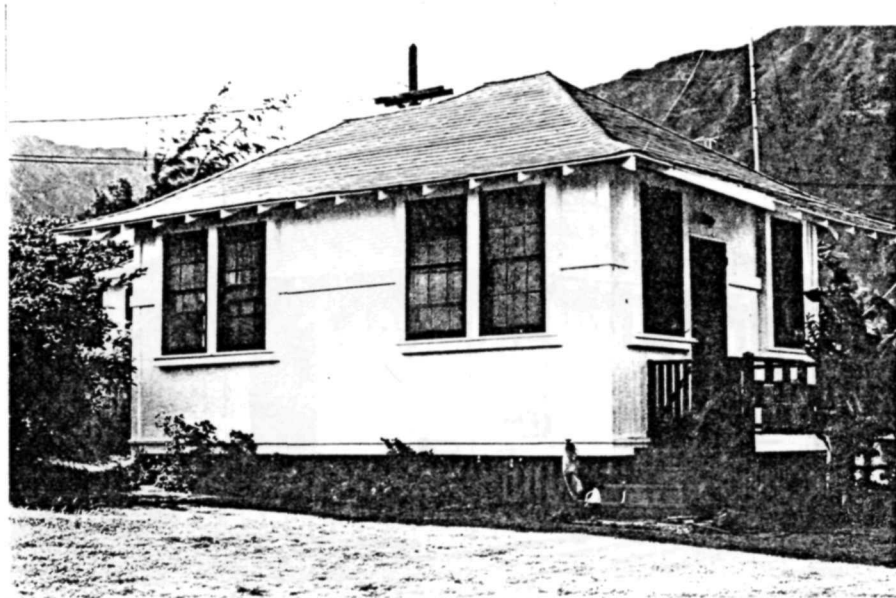
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The main hip roof (with gablet) is flanked by hip roofs of the wings at the east and west ends of the structure. The roof complex is finished with grey composition shingles. A railing with a traditional vernacular pattern encloses the recessed veranda which runs the length of the main wing. Corners of the structure are finished with cornerboards. The wood frames of the 12-light double hung windows project several inches from the exterior wall. A broken girt encircles the exterior. The structure was originally divided into 12 bedrooms. The building is unoccupied and in poor condition. Vegetation should be cleared from the base of the structure. Much of the lumber needs replacement. The interior and exterior should be cleaned and painted. The structure is infested with termites and should be fumigated.

SIGNIFICANCE: McVeigh Home, one of three original structures.

MAINTENANCE COST: \$41,450

FUTURE MAINTENANCE COST: \$1000/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 30

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 420 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The irregularly shaped hip roof has a broken pitch, and is finished with red composition shingles. A wooden porch with a shed roof is located at the west side (main entrance) of the structure. The wood frames of the 12-light double-hung windows project several inches from the exterior wall. A broken girt encircles the exterior. The corners of the structure are finished with corner boards. The rectangular structure is occupied, and in good condition. The building is in need of minor wood replacement, eave scraping and repainting, and fumigation.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$1455

FUTURE MAINTENANCE COST: \$340/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 32

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 750 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1934

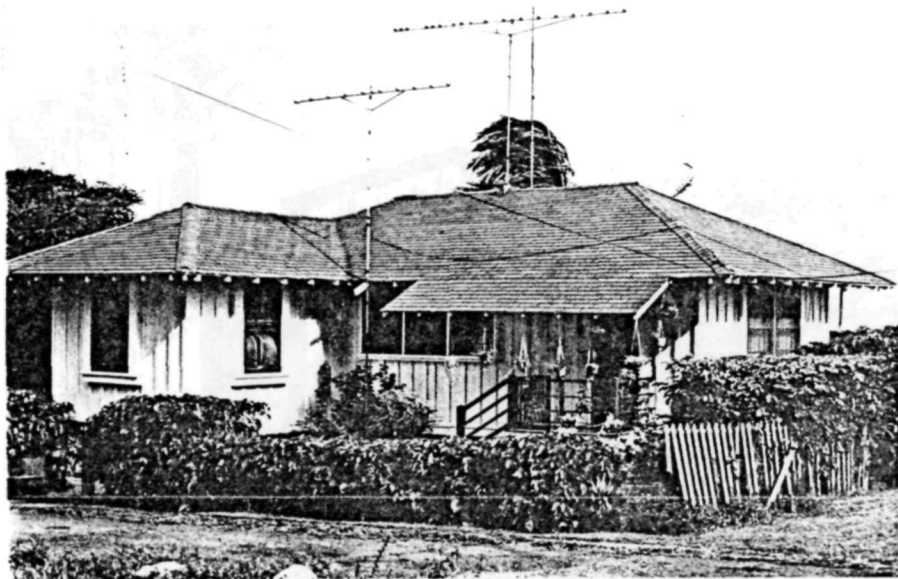
DESCRIPTION: The structure is a one story building of single wall construction, with a concrete pad and post foundation. The hip roof of the L-shaped building is finished with red composition shingles. The wood frames of the six-light double-hung windows project several inches from the exterior wall. The exterior finish is board and batten. A partially enclosed washroom, constructed on a concrete foundation and with a shed roof, is located at the rear of the structure. The building should be scraped, painted, and fumigated. Some lumber, particularly the rafter ends, needs replacement. The deteriorated drainage plumbing, which is exposed to the elements, should be checked and replaced if necessary. The structure is occupied and in fair condition.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$3080.

FUTURE MAINTENANCE COST: \$415/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 33

LOCATION: McVeigh Home

USE: Residence

SIZE: Approx. 750 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1934

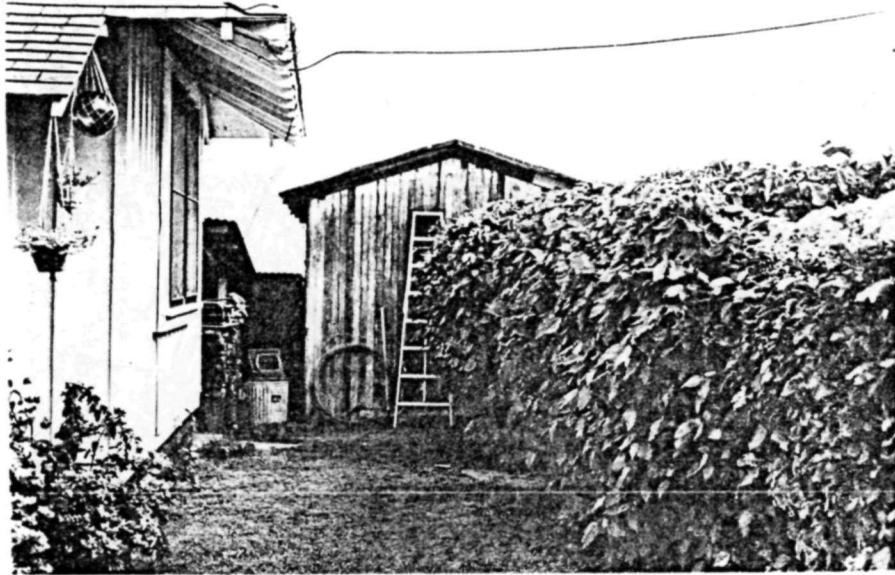
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The hip roof of the L-shaped building is finished with red composition shingles. The wood frames of the 12-light double hung windows project several inches from the exterior wall. The exterior finish is board and batten. A wooden porch, covered with a shed roof, provides access to the main entrance on the south side of the structure. The building is occupied. The structure has been recently painted, and seems to be in very good condition. Fumigation is recommended.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$415/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: 33A

LOCATION: McVeigh Home, behind residence #33

USE: Wash house

SIZE: 8 x 12

OWNERSHIP: State

DATE OF STRUCTURE: Unknown (1934?)

DESCRIPTION: The structure is a single story building with a gable roof. The building, of single wall construction, has a concrete foundation. The structure is in fair condition, and should be maintained as long as it is in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 34

LOCATION: McVeigh Home

USE: Residence (Supervisor's Cottage)

SIZE: Approx. 1,050 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1934?

DESCRIPTION: The structure is a one story building of single wall construction, with a concrete pad and post foundation. The generally hip roof of the irregularly shaped structure is finished with generally green composition shingles. The wood frames of the 12-light double-hung windows project several inches from the exterior wall. The exterior finish is board and batten. At the rear of the structure is an addition with a shed roof finished with rolled composition roofing. The structure is occupied and in good condition. The roof eaves should be scraped and painted. A tree at the southeast corner of the structure should be trimmed or removed to prevent damage to the roof. The structure should be fumigated. Grade on all sides of the building should be clear of earth and vegetation, to help prevent rot and termite damage.

SIGNIFICANCE: McVeigh Home

MAINTENANCE COST: \$1050

FUTURE MAINTENANCE COST: \$510/annum

DATE OF REPORT: January 11, 1977



STRUCTURE: Building 35

LOCATION: McVeigh Home

USE: Garage

SIZE: Approx. 3,000 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1934

DESCRIPTION: The structure is a one story garage, of single wall construction. The shed roof of the L-shaped structure is finished with green rolled composition roofing. The rectangular portion at the vertex of the "L" is a storeroom constructed on a concrete slab. The structure is in fair condition, although infested with termites and rot. The building, which is still in use, should be maintained until it is no longer needed, or until it becomes a hazard, at which time it should be removed.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 11, 1977

BISHOP HOME/BAY VIEW HOME

(Private Structures)



STRUCTURE: Building 16

LOCATION: Bishop Home

USE: Chapel

SIZE: Approx. 16 x 42

OWNERSHIP: Private (Catholic Church)

DATE OF STRUCTURE: 1934

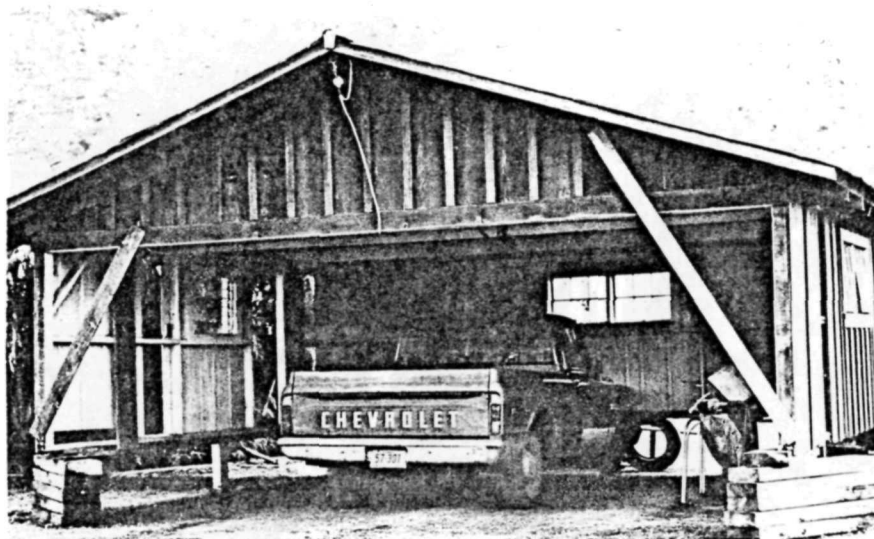
DESCRIPTION: The structure is a frame building of double wall construction. The foundation is concrete, the gable roof is finished with composition shingles, although the small gable portico over the entrance has a wood shingle finish. The exterior wall consists of horizontal rustic channel siding. The corners are finished with cornerboards. All of the eaves are bracketed. The small entrance portico, constructed on concrete steps which run the width of the building, is articulated by handsomely detailed columns and pilasters. The building has been altered - perhaps doubled in size. All of the windows are double hung. Two thin windows with pointed arches are located on the east and west sides of the building. The building is used daily, and in fair condition. Any termite damage should be repaired (floors, doors, roof, etc.). The building should be re-roofed, fumigated and painted.

SIGNIFICANCE: Mainly historical.

MAINTENANCE COST: \$9100

FUTURE MAINTENANCE COST: \$600/annum

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 65

LOCATION: Bay View

USE: Garage

SIZE: Approx. 20 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

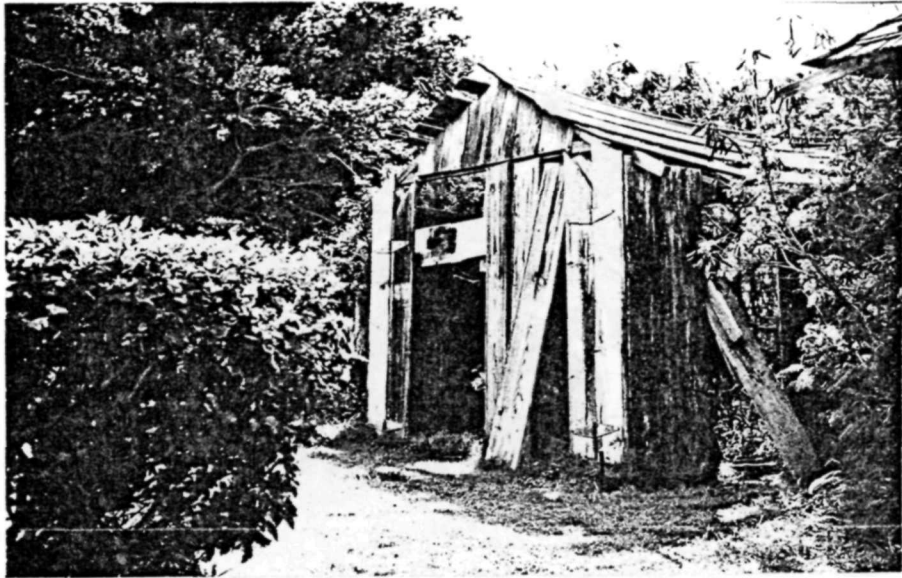
DESCRIPTION: The structure is a frame building of single wall construction. The exterior finish is board and batten. The building, which is raised several feet off the ground, is resting on large wood beams. The structure seems to have been recently moved to this place, or just recently jacked up to accommodate the large pick-up truck it houses. The gable roof is finished with corrugated metal. The structure seems to be in fair condition (although in a somewhat precarious position).

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 511

LOCATION: Bay View

USE: Abandoned garage

SIZE: Approx. 12 x 12 OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction. The walls consist of vertical plank siding. The gable roof is falling in, and the structure is sagging. The building is about to collapse.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

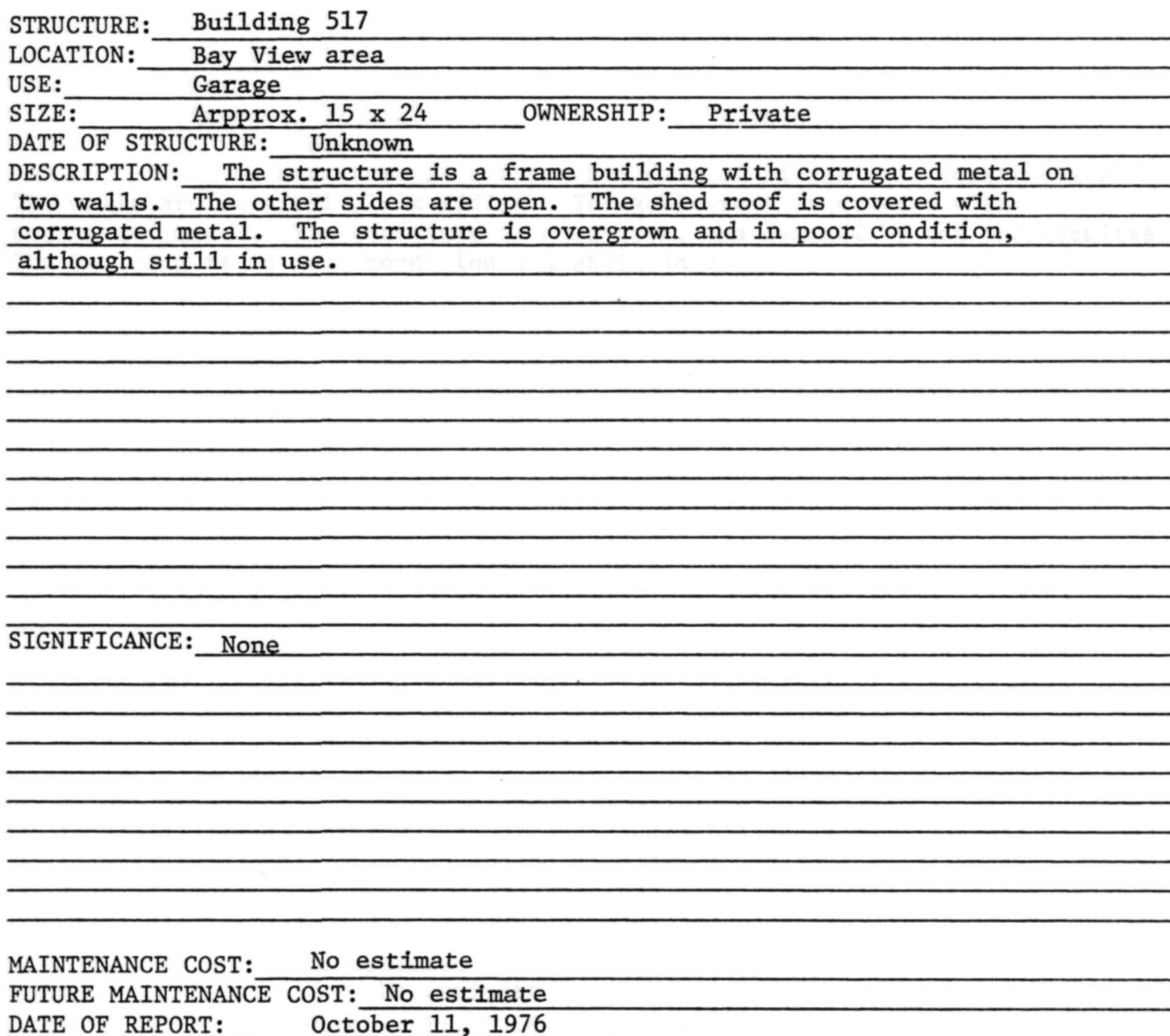
DATE OF REPORT: October 11, 1976



STRUCTURE: Building 514
LOCATION: Bay View area
USE: Abandoned garage
SIZE: Approx. 15 x 15 OWNERSHIP: Private
DATE OF STRUCTURE: Unknown
DESCRIPTION: The structure is a frame building of single wall construction. The walls are board and batten and vertical plank siding. The gable roof is covered with wood shingles. The structure is sagging badly, and about to collapse.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate
FUTURE MAINTENANCE COST: No Estimate
DATE OF REPORT: October 11, 1976





STRUCTURE: Building 518

LOCATION: Bay View Area

USE: Garage

SIZE: Arpprox. 12 x 20 OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

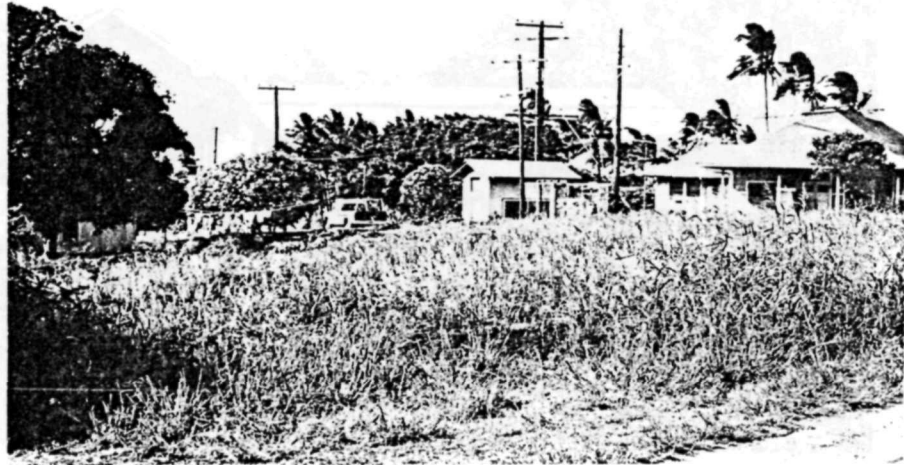
DESCRIPTION: The structure is a frame building of single wall construction. The walls are vertical plank siding. The gable roof is covered with corrugated metal. The structure is overgrown, and damaged by rot and termites. The building is in poor condition and still in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 519

LOCATION: Bay View Area

USE: Transformer Station

SIZE: Approx. 8 x 10 OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building with a gable roof. The walls and the roof are covered with corrugated metal. The structure is in use and seems to be in good condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 524

LOCATION: Bay View Area

USE: Garage

SIZE: Approx. 12 x 20 OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.
The foundation is obscured by vegetation. The walls consist of vertical
plank siding. The shed roof is finished with rolled composition roofing
material. The structure is in use and in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 527

LOCATION: Bay View Home

USE: Storage Building

SIZE: Approx. 8 x 15 OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

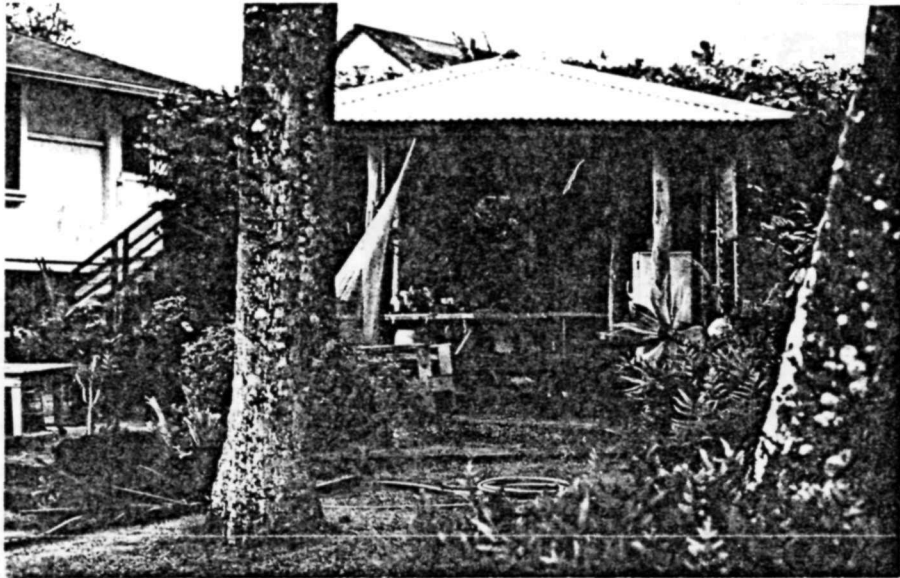
DESCRIPTION: The structure is a frame building with a concrete block foundation. The shed roof is covered with corrugated metal. The structure is in use and is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 528

LOCATION: Bay View

USE: Lanai

SIZE: Approx. 12 x 15 OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a wood frame building on a masonry foundation. The hip roof is covered with corrugated metal. The posts are peeled logs (Haole koa?). The structure receives much use and is in good condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976

BISHOP HOME/BAY VIEW HOME

(State-Owned Structures)



STRUCTURE: Building 2

LOCATION: Bishop Home

USE: Former Residence

SIZE: Approx. 2800 sq.ft. OWNERSHIP: State

DATE OF STRUCTURE: 1933

DESCRIPTION: The structure is a frame building of single wall construction. The foundation consists of concrete pads and wood posts. The U-shaped structure has a broken-pitch hip roof finished with composition shingles. Two recessed porches, located on the interior sections of the "U" are incorporated under the hip roof. The posts of the porch have bracketed capitals. The corners of the structure are finished with cornerboards. A girt encircles the structure, and is broken by the wood frames of the double-hung windows which project several inches from the exterior of the vertical plank wall. A water table encircles the sole plate of the building. The structure, formerly the girls' dormitory, is not in use. The building is in poor condition. To rehabilitate the structure, termite damage should be repaired (including decking and footing posts). The building should be cleared from the base of the structure to discourage further rot and deterioration due to termites.

SIGNIFICANCE: No architectural significance.

MAINTENANCE COST: \$24,600

FUTURE MAINTENANCE COST: \$1,000/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 3

LOCATION: Bishop Home

USE: Residence

SIZE: Approx. 750 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1933

DESCRIPTION: The structure is a frame building of single wall construction. The wall finish consists of celotex sheets and wood battens. The foundation of the L-shaped building consists of concrete pads and wood posts. The intersecting gable roofs are finished with composition shingles. Most of the wood frame windows are double hung (six-light). More recent windows are jalousies. The gable ends are filled with horizontal siding, and have small triangular louvers. The structure is in fair condition. The building should be fumigated and painted, and any termite damage should be repaired.

SIGNIFICANCE: No architectural significance, other than it makes up a "wall" of the formal space of the Bishop Home.

MAINTENANCE COST: \$1825

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 4

LOCATION: Bishop Home

USE: Residence

SIZE: Approx. 750 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1933

DESCRIPTION: The structure is a frame building of single wall construction. The exterior wall finish consists of celotex sheets and wood battens. The foundation of the L-shaped building consists of concrete pads and wood posts. The intersecting gable roofs are finished with composition shingles. Most of the wood frame windows are double hung (six-light). More recent windows are jalousies. The gable ends are filled with horizontal siding, and have small triangular louvers. The structure is in fair condition. The building should be fumigated and painted, and any termite damage should be repaired. The building is a mirror-plan of Building 3, Bishop Home.

SIGNIFICANCE: Makes up part of a wall of the formal space of the Bishop Home.

MAINTENANCE COST: \$1825

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 6

LOCATION: Bishop Home

USE: Abandoned store room

SIZE: Approx. 20 x 32

OWNERSHIP: State

DATE OF STRUCTURE: 1939

DESCRIPTION: The structure is a frame building of single wall construction. The foundation is a concrete slab. The hip roof is finished with corrugated metal. The walls consist of vertical plank siding. The structure is in very deteriorated condition, and is overgrown by koa. The building is filled with rotting mattresses and furniture, and two old pianos. The building seems to be occupied by rats and mongeese. The building is nearly impossible to photograph because it is overgrown.

SIGNIFICANCE: Outbuilding to Bishop Home. Removal is recommended.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 7

LOCATION: Bishop Home

USE: Abandoned Boiler Room

SIZE: Approx. 12 x 18

OWNERSHIP: State

DATE OF STRUCTURE: Unknown (prior to 1939)

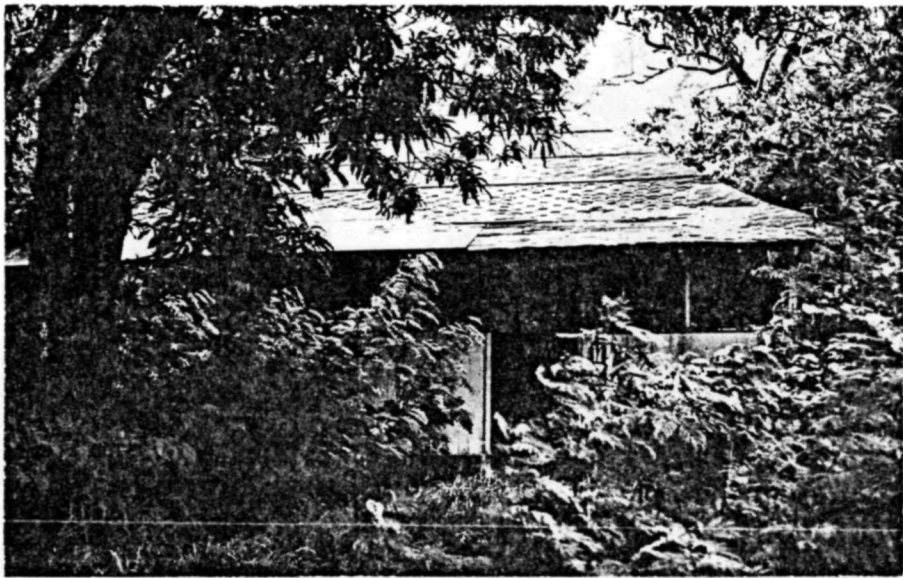
DESCRIPTION: The structure is a reinforced concrete building with a cement stucco exterior finish. The metal frame industrial windows have fixed hinged sashes. The foundation and floor are concrete. The building is in poor condition, and should be demolished.

SIGNIFICANCE: None. Same plan as the boiler room for McVeigh Home. No architectural significance. Removal is recommended.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 8

LOCATION: Bishop Home

USE: Abandoned Laundry Building

SIZE: Approx. 24 x 32 OWNERSHIP: State

DATE OF STRUCTURE: Unknown (prior to 1939)

DESCRIPTION: The structure is a frame building of single wall construction. The foundation is a concrete slab. The hip roof is finished with rolled composition roofing which has been applied over octagonal (composition?) shingles. The walls of the structure consist of vertical plank siding. The top third of the walls is an open band of formerly screened windows. The building is in very deteriorated condition, and has not been used for years.

SIGNIFICANCE: No architectural significance.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 9

LOCATION: Bishop Home

USE: Former dormitory

SIZE: Approx. 30 x 50

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

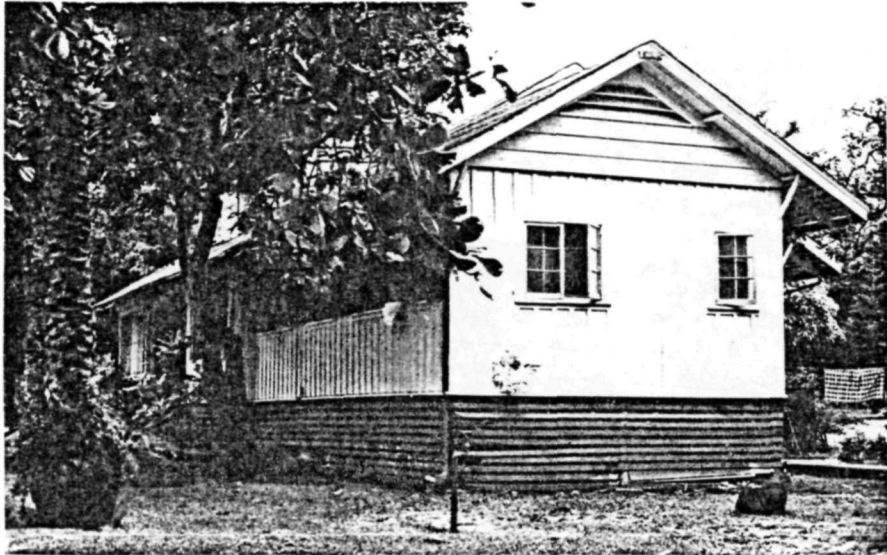
DESCRIPTION: The structure is a frame building of single wall construction. The foundation consists of concrete piers. The building has a hip roof over the main section, and smaller hip roofs over the flanking wings to the north and south. All of the roofs have gablets. Another gablet, which houses a louver, is located in the main roof section directly above the front entrance. The roofs are finished with wood shingles. A veranda which runs the length of the front of the main section is recessed under the hip roof. The paired posts of the veranda have decorative, jigsaw brackets. The remains of the railing shows that it had a diamond pattern. The corners of the structure are finished with cornerboards. A small wing at the rear (east) of the building has a very solid concrete slab for a foundation, and served as the bathroom area. The building is in very deteriorated condition. The roof shingles are missing in many places. Much of the wood from the building (railings, veranda ceiling, interior walls) has been stripped for luau wood. The building is beyond repair.

SIGNIFICANCE: One of the most architecturally significant building on the peninsula. Recording by the Historic American Building Survey is highly recommended - and to be done as soon as possible. The building will not last much longer. According to a patient, the building is haunted and was probably constructed in an area where it should not have been constructed. Removal is recommended AFTER proper recording has been done. Note: the recording should be done only after the koa is removed so that the building is visible from all elevations.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 15

LOCATION: Bishop Home

USE: Residence for nuns

SIZE: Approx. 3600 sq. ft. (2-story) OWNERSHIP: State

DATE OF STRUCTURE: Unknown (prior to 1939)

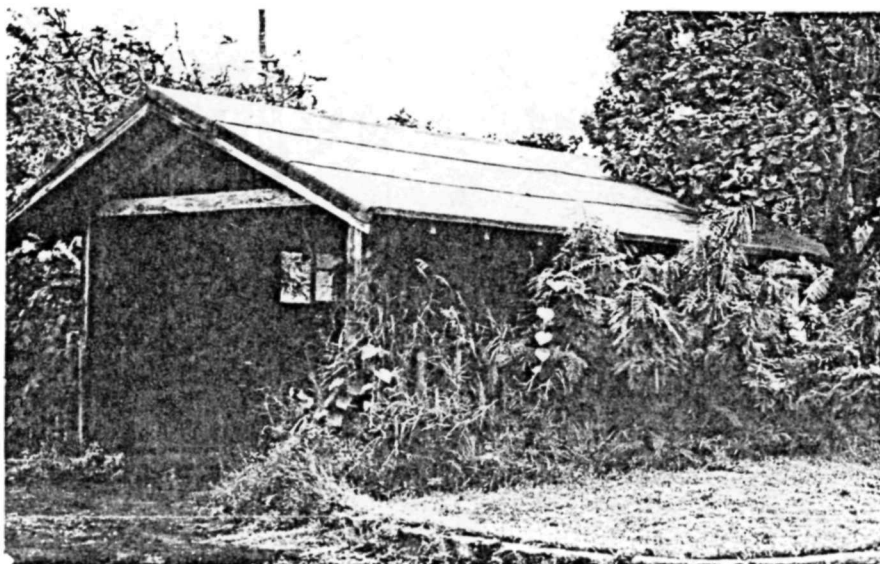
DESCRIPTION: The structure is a frame building of single wall construction with an exterior finish of board and batten. The foundation consists of concrete footings and wood posts. The gable roofs have long second story dormers on the north and south sides of the structure which run approximately one-third the length of the building. A recessed porch is located in the central section of the north side. Two smaller porches are located at the rear of the building. Most windows are two-sash casement windows with twelve lights. The foundation is camouflaged by a skirting which consists of horizontal wood strips. The roofs are finished with green composition shingles. The building is in poor condition. The structure should be fumigated, and termite and rot damage should be repaired. The copper gutters and downspouts (yes, this building has gutters!) should be replaced. The exterior should be painted.

SIGNIFICANCE: Historical significance. Architectural significance is lacking.

MAINTENANCE COST: \$7900

FUTURE MAINTENANCE COST: \$1200/annum

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 18

LOCATION: Bishop Home

USE: Garage

SIZE: Approx. 11 x 18

OWNERSHIP: State?

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.
The exterior finish is board and batten. The gable roof is finished with
rolled composition roofing material. The foundation is concrete curb.
The southwest side of the structure is completely open. The building is
in very deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 19

LOCATION: Bishop Home

USE: Storage shed (for garbage cans)

SIZE: Approx. 10 x 12

OWNERSHIP: State (?)

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.

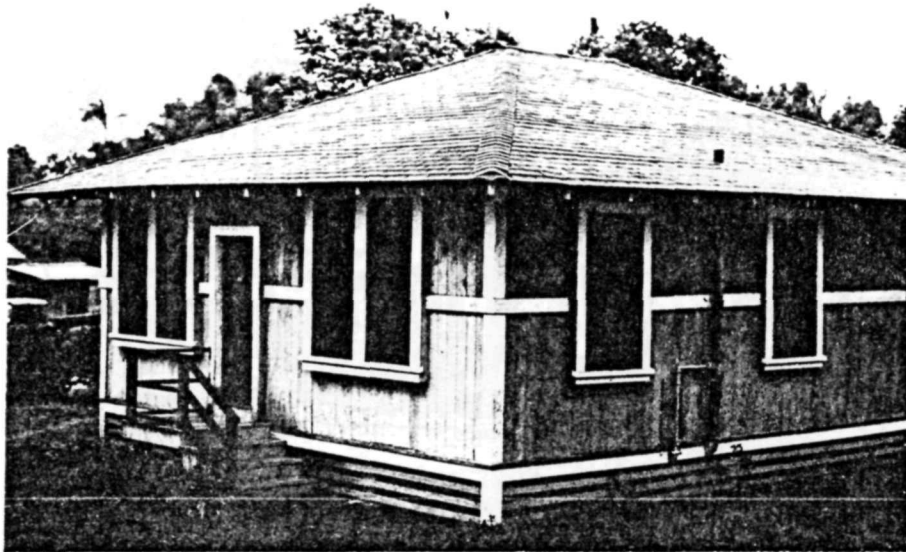
The foundation consists of footings and wood posts. The shed roof is finished with rolled composition roofing material. The exterior finish of the building is board and batten. The structure is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 7

LOCATION: Hospital

USE: Formerly out patient clinic

SIZE: Approx. 572 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction. The foundation consists of stone pads and wood posts, camouflaged by a skirting made up of horizontal wood strips. A girt, broken by the wood frames of the double-hung windows encircles the structure. A water table surrounds the sole plate. The hip roof is finished with composition shingles. The structure is in poor condition. Termite and rot damaged wood should be replaced (including the front steps to the building which are in an advanced state of collapse.) The building should be cleaned and painted, interior and exterior, and it should be fumigated.

SIGNIFICANCE: No architectural significance. Historically connected with hospital, though.

MAINTENANCE COST: \$6,000

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 282

LOCATION: Hospital

USE: Hospital

SIZE: Approx. 18,500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932 (definite)

DESCRIPTION: The structure is a frame building of single wall construction. The foundation consists of concrete footings and wood posts. Most of the foundation is camouflaged by a latticework skirting. The enormous building consists of one main section which has been intersected by three large wings. The walls are vertical plank siding. A girt encircles the structure, and it is broken by the wood frames of the single, paired and tripled windows, and by the doors. The intersecting hip roofs, (with broken pitches) are finished with composition shingles. Several skylights in the roof provide natural lighting. Two ramps and recessed porches are located on the wings jutting out of the west side of the building. The rear (east) side of the structure seems to have had some minor alterations of loading docks and a metal shed roof. The building is in poor condition, and does not suit the needs of the settlement, nor does it meet code. To rehabilitate the structure, termite damaged wood would have to be replaced, as would the interior flooring. The building should be fumigated and painted (interior and exterior), and many of the window screens (with frames) replaced.

SIGNIFICANCE: Historically significant. Recording by HABS is recommended. Approximately thirty wild cats live around and under the building. When it rains, the fleas enter the building. The patients find this very uncomfortable. None of the animals is spayed or neutered, so the herd keeps growing. Many of the cats show obvious signs of disease. The cats are fed scraps daily, but are not owned. Therefore, they receive no shots, medical treatment or other proper care.

MAINTENANCE COST: \$103,225

FUTURE MAINTENANCE COST: \$6,000/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 283

LOCATION: Hospital area

USE: formerly fumigation room (possibly morgue, too?)

SIZE: Approx. 680 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1935

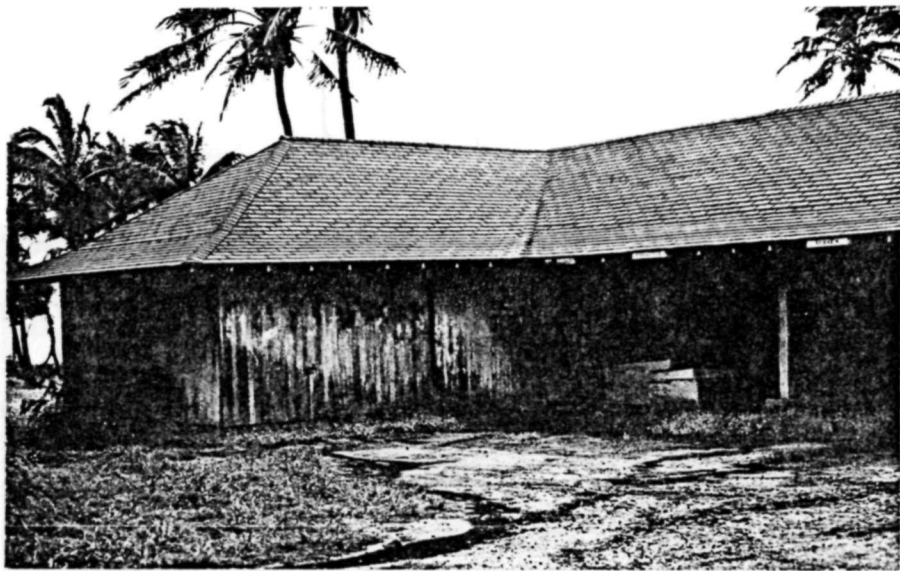
DESCRIPTION: The structure is a frame building of single wall construction. The foundation consists of a thick concrete slab. The hip roof is finished with composition shingles. The walls are vertical plank siding. A girt, broken by the wood frames of the hinged windows, encircles the structure. The corners of the building are finished with cornerboards. The enclosed porch has two separate entrances - for men and women. The interior of the building is divided into two main sections. The building is in deteriorated condition. Vegetation should be cleared away from the structure. Termite damaged wood should be repaired. The building should be re-roofed, fumigated, cleaned and painted.

SIGNIFICANCE: Not any particular architectural significance. The building, according to Bernard Punikaia, was used as a fumigation room until the 1960's. Men and women leaving the settlement for a short period of time brought clothes here to be fumigated (to "kill the bacteria") the night before they left. Just before they left, they, too, would have to be fumigated (women on the left side of the building, men on the right side). They were then allowed to leave. Bernard states that the fumigation smell was terrible.

MAINTENANCE COST: \$12,600

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 284

LOCATION: Hospital area

USE: Garage

SIZE: Approx. 1560 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1944

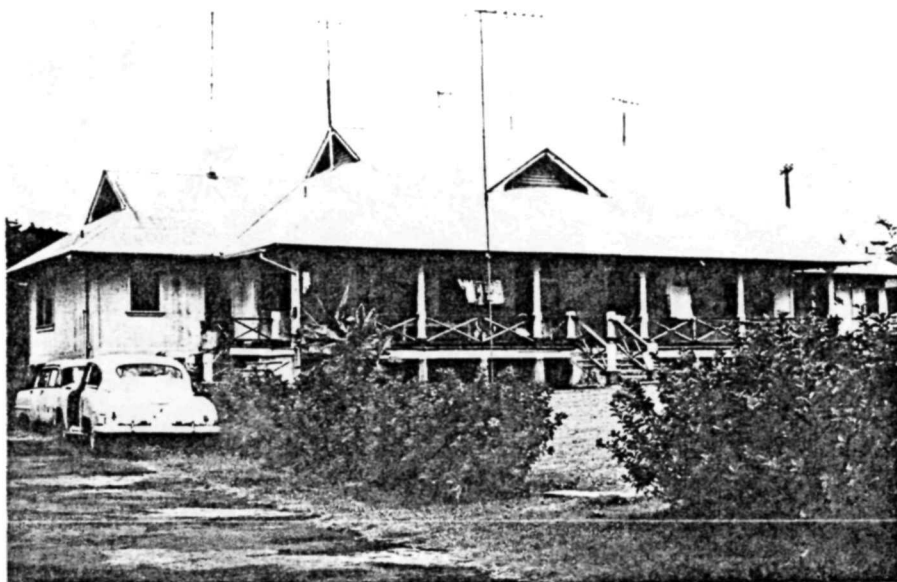
DESCRIPTION: The structure is a frame building of single wall construction. The walls consist of vertical plank siding. The foundation consists of a concrete slab, and concrete footings. The hip roof of the L-shaped structure is finished with composition shingles. One wing of the "L" is completely enclosed and is used for storage. The other wing is divided into two large garage bays (two cars in each bay) and is completely open on the south side. The building is in poor condition. The structure is riddled with termites and the eaves are warped badly on the north side of the building. To keep the structure serviceable, the building should be fumigated and painted. Termite damage should be repaired. Vegetation should be cleared away from the base of the building.

SIGNIFICANCE: Fits well with hospital, but that's about it.

MAINTENANCE COST: \$5,400

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 1

LOCATION: Bay View Home

USE: Residence

SIZE: Approx. 3700 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1916

DESCRIPTION: The structure is a frame building of single wall construction.

The plan is generally symmetrical: a main section with a veranda is flanked by two smaller wings to the east and west and a third wing to the north.

The dominant architectural feature of the building is the combination of the intersecting hip roofs, all with louvered gablets at the ridges.

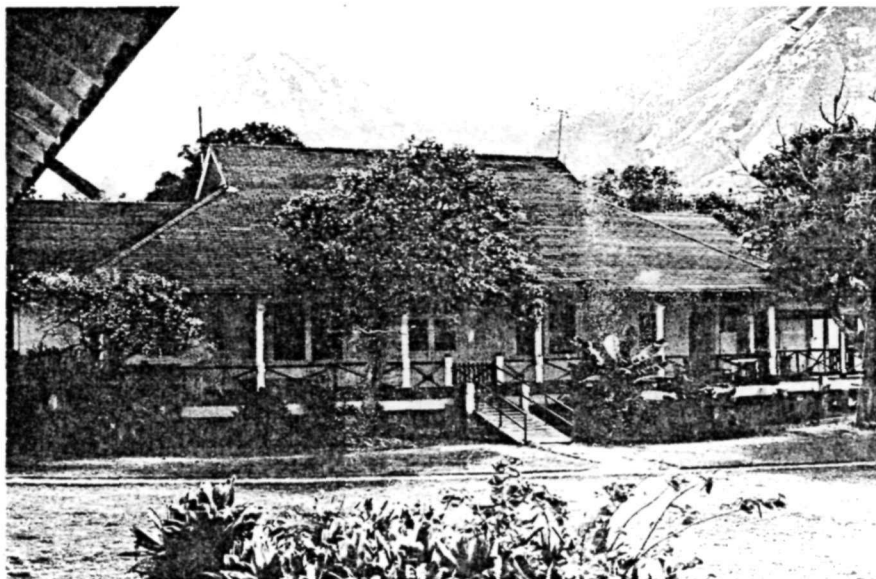
Another louvered gablet projects from the roof directly above the main entrance to the building. The veranda which is recessed under the main roof is bordered by a diamond-patterned railing and chamfered posts and pilasters with jigsaw bracketing. The foundations are concrete piers. Concrete steps, edged with concrete and wood railings provide access to the veranda from the east, west and south. The walls are vertical plank siding. Windows are usually double hung, twelve-light. The structure is identical in plan to Building 3. Termite and rot damaged wood should be replaced. The foundation needs reconstruction. Grade and vegetation should be cleared. The interior and exterior should be painted. The building should be fumigated. The building is in poor condition. Further information is provided in the cost estimates.

SIGNIFICANCE: Identical to Building 3. Building 4 (now gone) would have been identical to Building 2. Historically the Bay View Home was the residential area for elderly and blind patients (now occupied by male patients. This is the least altered of the Bay View group. Other than that, same significance as the others.

MAINTENANCE COST: \$30,400

FUTURE MAINTENANCE COST: \$1650/annum

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 2

LOCATION: Bay View Home

USE: Residence

SIZE: Approx. 3700 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1916

DESCRIPTION: The structure is a frame building of single wall construction.

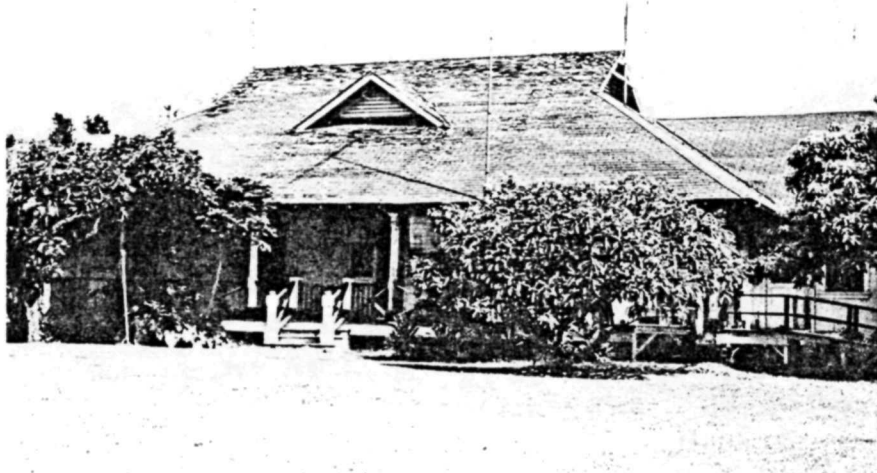
The plan is generally symmetrical: a main section with a veranda is flanked by two smaller wings to the north and south, and a third wing to the east (rear). The dominant architectural feature of the building is the combination of intersecting hip roofs, all with louvered gables for ridges. Another louvered gable projects from the roof directly above the main entrance to the building. The veranda which is recessed under the main roof is bordered by a diamond-patterned railing and chamfered posts - some with jigsaw bracketing. The foundations consist of concrete piers. The main set of concrete steps (edged with concrete posts) have been covered with a ramp to make access to the building easier for some patients. The walls consist of vertical plank siding. Windows are usually double-hung, twelve light. The building is connected to Building 5 and 3 by a covered walkway which was constructed attaching the verandas. The walkway probably dates from the 1930's. The structure is in poor condition. The building should be fumigated, and termite damage repaired. The foundation should be rebuilt. The structure should be painted, and the building should be re-roofed eventually with the original shingles. For more detailed description of the work, see construction estimate sheets.

SIGNIFICANCE: Historically the Bay View Home was the residential area for elderly and blind patients (now occupied by male patients). Architecturally a well-designed small community which should eventually be restored to its pre-1930's state even though one of the early structure was razed.

MAINTENANCE COST: \$43,000

FUTURE MAINTENANCE COST: \$1650/annum

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 3

LOCATION: Bay View Home

USE: Residence

SIZE: Approx. 3700 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1916

DESCRIPTION: The structure is a frame building of single wall construction.

The plan is generally symmetrical: A main section with a veranda is flanked by two smaller wings to the north and south, and a third wing to the east (rear). The dominant architectural feature of the building is the combination of intersecting hip roofs, all with louvered gablets for ridges.

Another louvered gable projects from the roof directly above the main entrance to the building. The veranda which is recessed under the main roof is bordered by a diamond-patterned railing and chamfered posts with jigsaw bracketing. The foundation consists of concrete piers. Concrete steps with concrete and wood railings serve as the major entrance to the building. A wood ramp replacing the concrete steps on the south side of the structure has made access to the building easier. The walls consist of vertical plank siding. Windows are usually double hung, twelve light. The building is connected to Building 2 and 5 by a covered walkway which is an extension of the veranda. The structure is in poor condition. The building should be fumigated, and termite and rot damage repaired. The foundations should be rebuilt. The structure should be painted, and eventually re-roofed with the original wood shingles. For more detailed description of work needed, see cost estimated sheets.

SIGNIFICANCE: Part of Bay View Home, formerly for the elderly and blind patients. Now for male patients. Architecturally the building is the mirror plan of Building 2, and has the same significance.

MAINTENANCE COST: \$43,000

FUTURE MAINTENANCE COST: \$1650/annum

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 5

LOCATION: Bay View Home

USE: Patient Dining Hall for Bay View

SIZE: Approx. 28 x 48

OWNERSHIP: State

DATE OF STRUCTURE: 1937

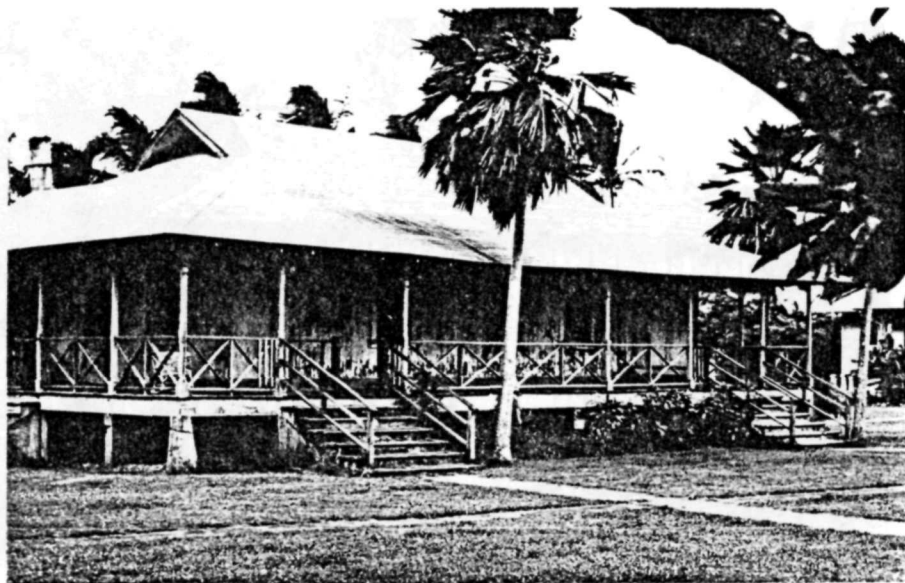
DESCRIPTION: The structure is a frame building of single wall construction. The foundation consists of concrete piers. Walls are vertical plank siding, with corners finished with cornerboards. The hip roof is finished with composition shingles. The wood frame windows are double hung, usually twelve-light. A water table encircles the sole plate of the building. A covered walkway which connects this building with the verandas of Buildings 2 and 3 runs across the front of the structure with a diamond-patterned railing. At the rear of the building (east) is a recessed corner porch with a concrete slab floor. The building is used daily, and is in fair condition. Termite damaged areas should be repaired. The building should be fumigated and grade cleared.

SIGNIFICANCE: Not part of the original Bay View. No architectural significance.

MAINTENANCE COST: \$6300

FUTURE MAINTENANCE COST: \$700/annum

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 6

LOCATION: Bay View Home

USE: Presently Craft Shop, formerly Kitchen and Dining Room

SIZE: Approx. 3000 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1916

DESCRIPTION: The structure is a frame building of single wall construction. The foundation consists of concrete piers. The symmetrical structure has a main section, with one wing nearly as large at the rear (west). The dominant architectural feature of the building is the combination of the intersecting hip roofs, with louvered gables at the ridges. The veranda wraps around three sides of the main building section is bordered by a diamond-patterned railing and chamfered posts with jigsaw brackets. The wing at the west side of the building (partially or all an addition?) is constructed on poured concrete and smaller concrete footings. Four sets of steps provide access to the veranda for the north (1), east (2) and south (1). The walls are vertical plank siding. Windows are usually double hung (twelve light). The building is in poor condition. The foundation, siding, roof, chimney, as well as other major parts need repair. The building should be painted, interior and exterior. When the structure needs re-roofing again, the original material should be replaced (wood shingles). The building should be fumigated. For further details, see cost estimate sheets.

SIGNIFICANCE: Seems to be altered - needs more research. An integral part historically and architecturally of the Bay View Home.

MAINTENANCE COST: \$25,800

FUTURE MAINTENANCE COST: \$1,200/annum

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 7

LOCATION: Bay View Home

USE: Storage

SIZE: Approx. 10 x 10

OWNERSHIP: State

DATE OF STRUCTURE: Unknown (prior to 1939)

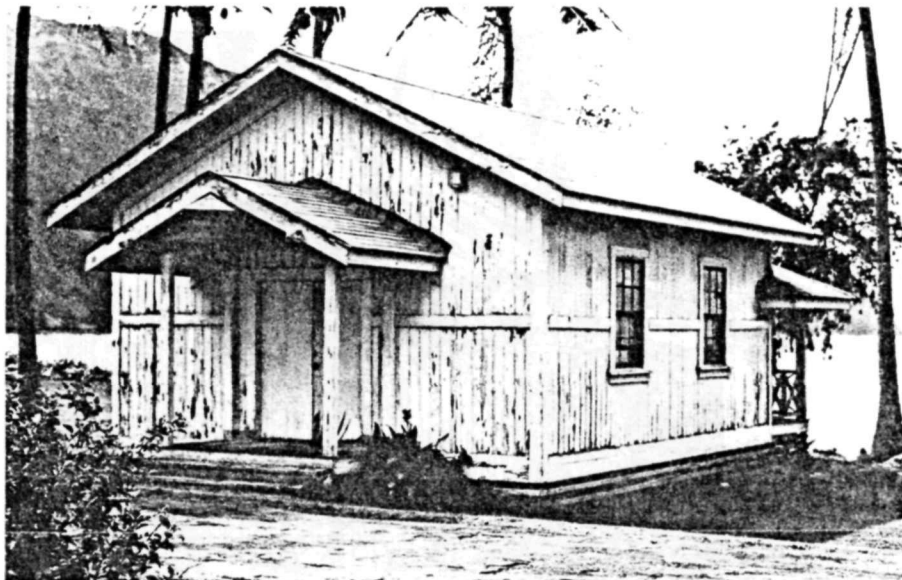
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The foundation is a concrete slab. The hip roof has lowered gables at the ridge lines. The roof is finished with wood shingles. The building is in very deteriorated condition.

SIGNIFICANCE: Good small scale and combination of architectural elements. However, the building is beyond repair. According to one patient, the structure was a store at one time, where "you could get good deals." Another patient stated that the building was the washhouse for Bay View. The numbers "278" appear on one wall, as well as "7" above the door.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 8

LOCATION: Bay View Home

USE: Storage Area

SIZE: Approx. 800 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1928

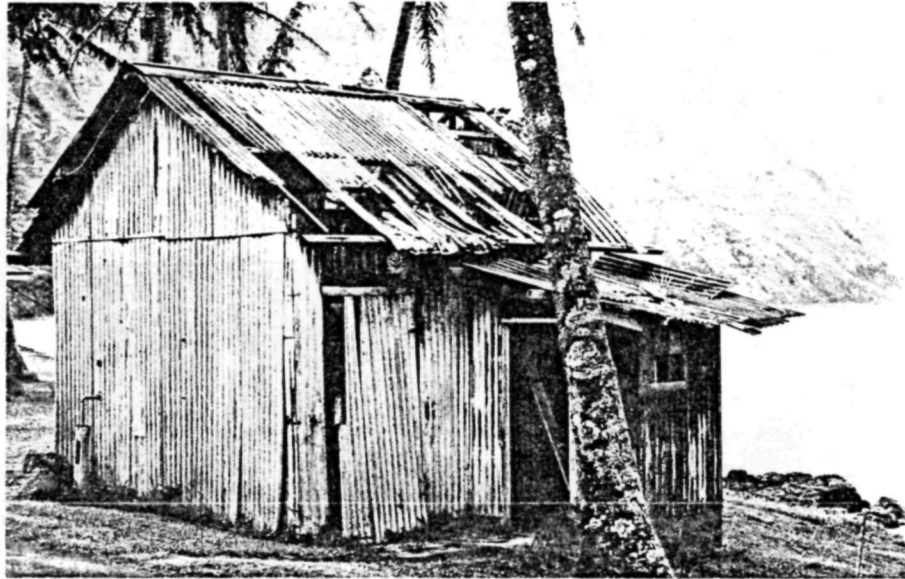
DESCRIPTION: The structure is a frame building of single wall construction. The foundation is mainly stone footings and wood posts. The gable roof is finished with composition shingles. A portico sheltered by a small gable roof is located at the front (east) of the building. A corner porch and an enclosed addition (?) are covered by a hip roof at the rear (west of the building). The porch is bordered by a diamond-patterned railing and chamfered posts and pilasters. The addition is constructed on a concrete slab. A girt, broken by the wood frame of the twelve-light double hung windows and by the door frames, encircles the structure. A water table surrounds the sole plate. The corners of the building are finished with cornerboards. The building is in fair to poor condition, and is used for storage. Some wood needs replacement due to rot and termite damage. The building should be painted. Vegetation should be cleared from the base of the structure. The building should be fumigated.

SIGNIFICANCE: One of the patients stated that this building was used intermittently as a morgue. No singular architectural significance. The building seems similar to some of those constructed at Kalawao. During the 1930's this building was changed from a chapel - its original use - to a recreation building.

MAINTENANCE COST: \$5000

FUTURE MAINTENANCE COST: \$450/annum

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 9

LOCATION: Bay View Home

USE: Formerly Boiler Room

SIZE: Approx. 12 x 12

OWNERSHIP: State

DATE OF STRUCTURE: 1929 (?)

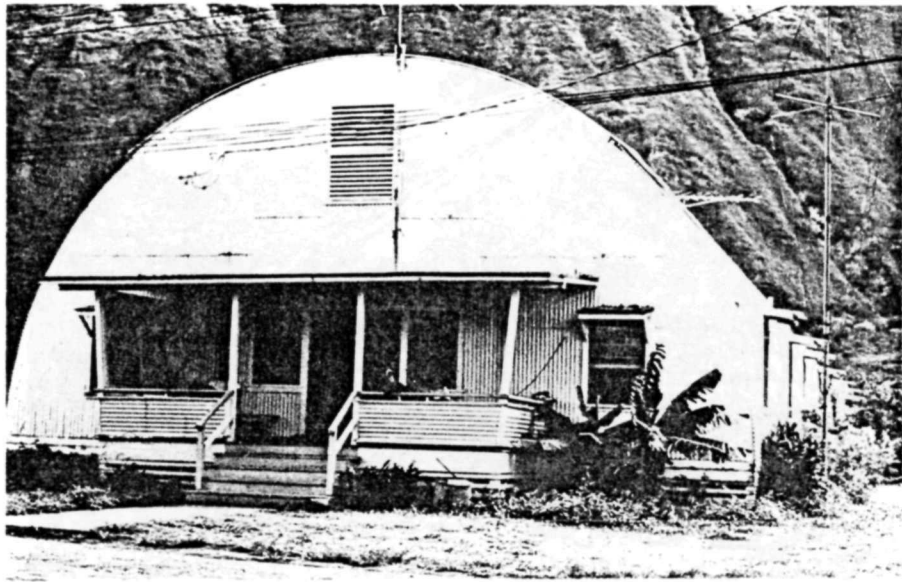
DESCRIPTION: The structure is a frame building of single wall construction, with a concrete foundation. The walls and gable roof are covered with corrugated metal. The building is in very deteriorated condition, and immediate removal is recommended.

SIGNIFICANCE: None. Removal would have a positive effect on the Bay View Home. The view would be improved.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 10

LOCATION: Bay View Home

USE: Residence

SIZE: Approx. 4600 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Prior to 1939

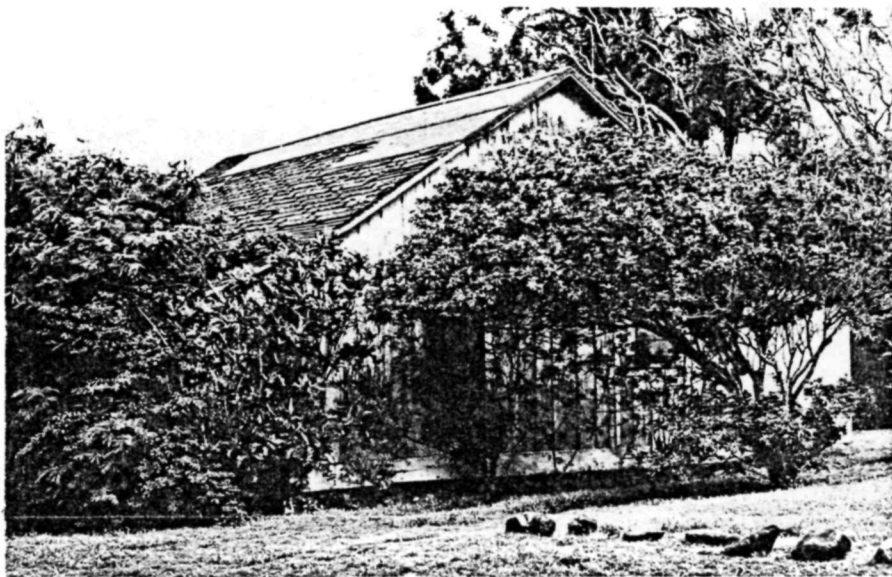
DESCRIPTION: The structure is a large quonset hut constructed on a foundation of concrete footings and wood posts. The semi-cylindrical structure is covered with corrugated metal. Double hung windows, all sheltered by small shed roofs are evenly spaced along the long sides of the building. A frame porch with a shed roof is located on the north side of the structure. Metal ventilation louvers are located near the roofline at the east and west sides of the building. The structure is occupied, and in poor condition. To keep the building habitable, it should be fumigated for termites. Termite damage affecting the structure should be repaired. Vegetation should be cleared from the base of the building. The interior and exterior should be painted.

SIGNIFICANCE: None, other than part of Bay View.

MAINTENANCE COST: \$18,250

FUTURE MAINTENANCE COST: \$600/annum

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 10

LOCATION: Bay View Home

USE: Former Residence

SIZE: Approx. 36 x 30

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The gable roof and shed roof extension are finished with the remains of rolled roofing material which had been applied over the original wood shingles. A recessed veranda, with a diamond-patterned railing runs one third of the length of the front of the structure. A partially enclosed washroom on a concrete floor is located at the rear of the building. The foundations for the rest of the structure consist of stone footings and wood posts. Rectangular louvers are located at the gable ends. The building is unoccupied, and in very deteriorated condition. Practically board-by-board reconstruction would be necessary to rehabilitate the building.

SIGNIFICANCE: This building could be one of the structures (whose location was inadequately pinpointed in the State Register) which dates back to the old Kalaupapa Settlement, before the official arrival of the patients to that side of the peninsula. The structure is an example of a simple, Hawaiian vernacular building type, although not an outstanding one. More research is warranted before demolition of the building, and before its eventual demise by termites and rot.

MAINTENANCE COST: No estimate (too far gone)

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 11

LOCATION: Bay View Home

USE: Residence

SIZE: Approx. 672 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1936

DESCRIPTION: The structure is a frame building of single wall construction, with a concrete foundation. A recessed corner porch is incorporated under the hip roof in the southwest corner of the building. The corners of the building are finished with cornerboards. A girt encircles the structure, and is broken by the wood frame of the doors and the double-hung windows which project several inches from the exterior of the vertical plank wall. The hip roof is finished with composition shingles. A water table surrounds the sole plate. The concrete footing-and-wood posts foundation is camouflaged by a vertical wood strip skirting. (The poured concrete foundation of the basement washroom is not camouflaged). The building is occupied and in fair condition. Termite damage should be repaired. The building should be fumigated and painted. Vegetation should be cleared from the base of the building.

SIGNIFICANCE: No architectural significance. The building is occupied by the Supervisor of the Bay View Home.

MAINTENANCE COST: \$3,500

FUTURE MAINTENANCE COST: \$500

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 63

LOCATION: Bay View Home

USE: Residence

SIZE: Approx. 25 x 30

OWNERSHIP: State

DATE OF STRUCTURE: Unknown (prior to 1939)

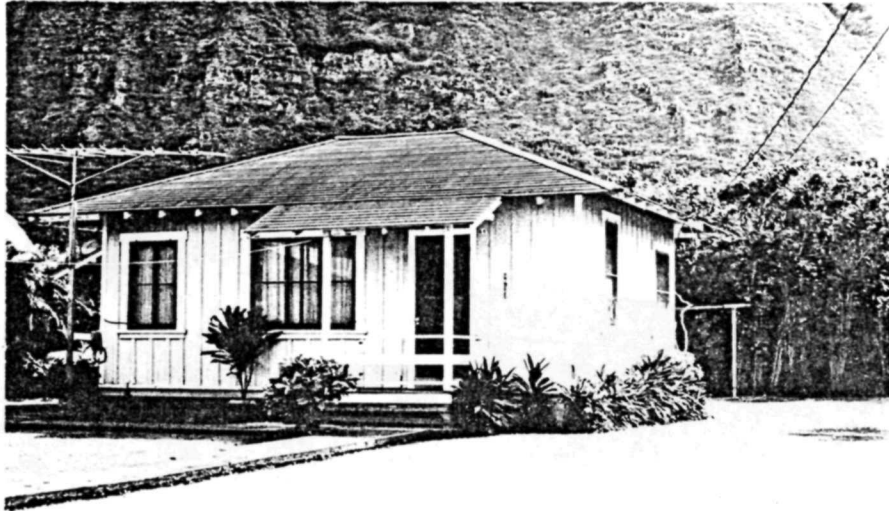
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The hip roof (with very large gablets) is finished with rolled roofing material, which has been applied over wood shingles. A veranda with a diamond-patterned railing runs the length of the front of the structure. The wood frame windows are double hung (twelve-light). The structure is occupied, and in deteriorated condition. To keep the building habitable some termite and rot damaged wood should be replaced. The building should be fumigated and painted.

SIGNIFICANCE: A simple, Hawaiian vernacular building, which could date back to Kalaupapa village prior to the official move to that side of the peninsula. Further research is warranted to determine eventual fate.

MAINTENANCE COST: \$3900

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 64

LOCATION: Bay View Home

USE: Residence

SIZE: Approx. 624 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

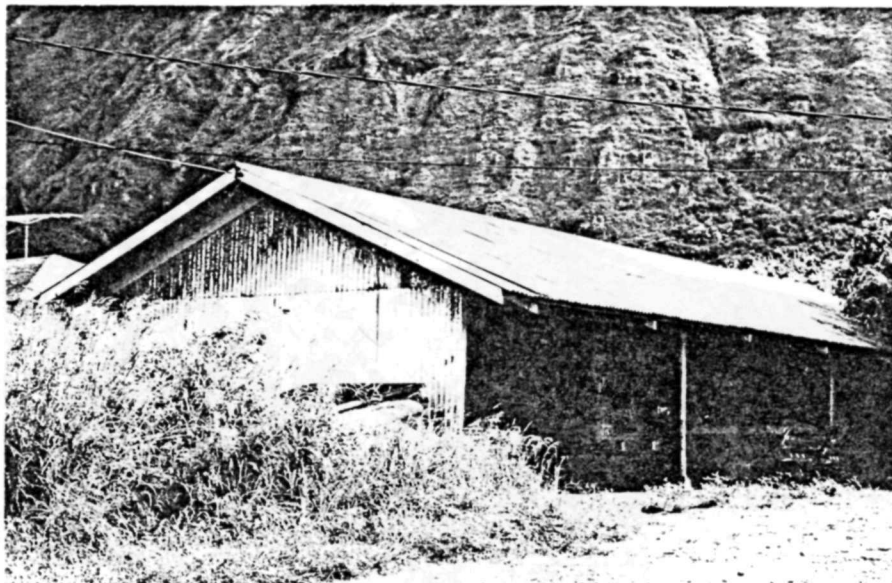
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The foundation is made up of stone and concrete footings and wood posts. The foundation is camouflaged by horizontal wood strips. The hip roof is finished with composition shingles. A partially enclosed wash room with a shed roof, is constructed on a concrete pad at the rear of the building. The building is occupied and seems to be in fair condition. The structure should be fumigated. Termite damaged wood should be replaced. Vegetation should be cleared from the base. The building should be painted.

SIGNIFICANCE: _____

MAINTENANCE COST: \$2120

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 512

LOCATION: Bay View Home

USE: Garage

SIZE: Approx. 18 x 50

OWNERSHIP: State

DATE OF STRUCTURE: 1937

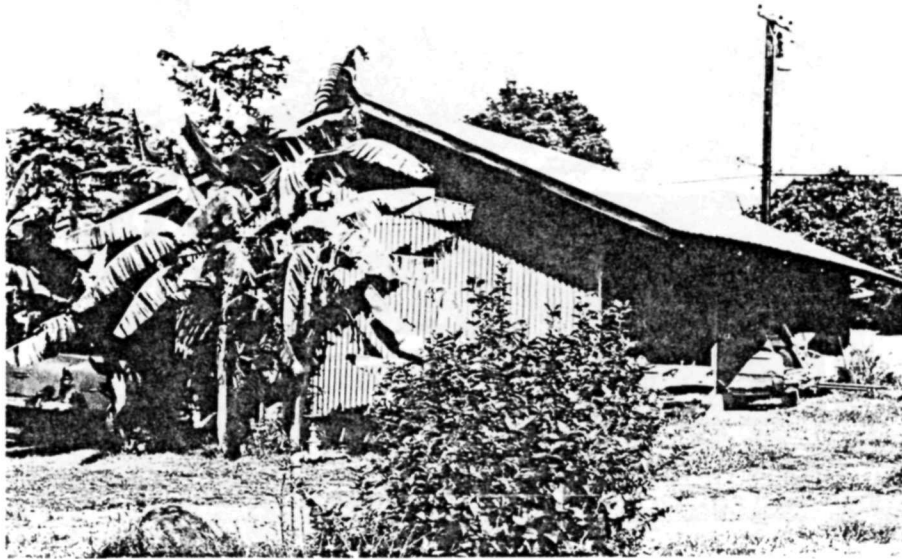
DESCRIPTION: The structure is a frame and pole building, with a corrugated metal gable roof and corrugated metal walls. The floor is dirt. The foundation is concrete. The building houses 6 cars. The structure seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 513

LOCATION: Bay View Home

USE: Garage

SIZE: Approx. 1000 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1937

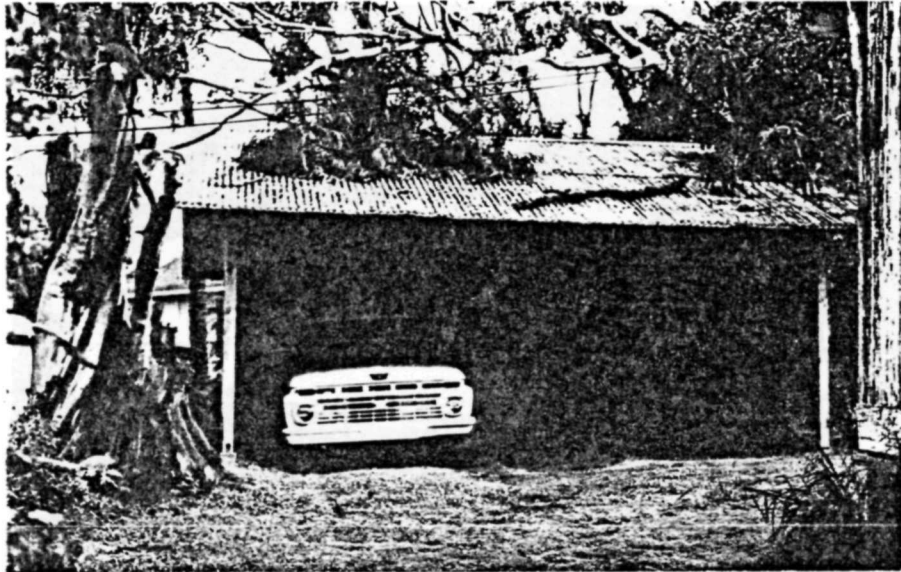
DESCRIPTION: The structure is a frame and pole building, with a corrugated metal gable roof and corrugated metal walls. The floor is dirt. The foundation is concrete. The building houses 6 cars. A frame shed with a corrugated metal roof is attached to the rear of the building. The structure is used, and in poor condition. Termites have debilitated the structural wood so that the building is leaning.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 525

LOCATION: Bay View Home

USE: Garage

SIZE: Approx. 41 x 18

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

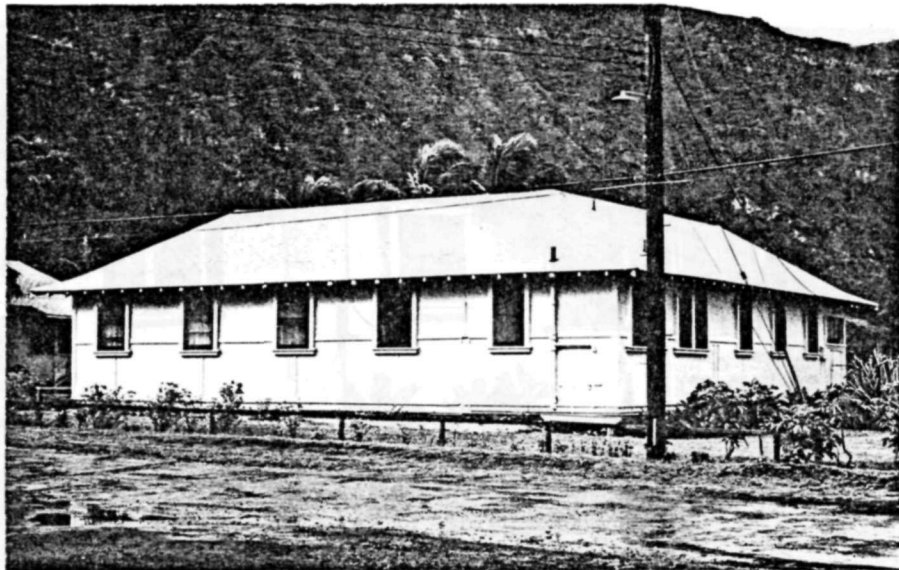
DESCRIPTION: The structure is a wood frame with a corrugated metal gable roof, and three walls of corrugated metal. The foundation is concrete. The building is a two-car garage for building 11.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 274

LOCATION: Visitor's Quarters

USE: Visitor's Quarters

SIZE: Approx. 1900 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1933

DESCRIPTION: The structure is a frame building of single wall construction. The foundations consist of concrete footings and wood posts under most of the structure, and a concrete floor under the restroom areas. The hip roof of the L-shaped building is finished with composition shingles. A girt encircles the exterior of the structure is broken by the wood frames of the double hung windows, which project several inches from the exterior of the structure. A water table runs along the sole plate. A recessed screened veranda runs the length of the L-shaped building on the makai side. The building houses seven bedrooms for visitors. The structure was recently painted, and is in good condition. The building should be fumigated. Vegetation should be cleared from the base of the building. Any termite damage revealed in subsequent inspections should be repaired.

SIGNIFICANCE: Mainly historical. The structure is part of the compound that was once fenced in, so that patients and visitors could have no physical contact. One of the rooms in the structure is said to be occupied by spirits.

MAINTENANCE COST: \$3200

FUTURE MAINTENANCE COST: \$800/annum

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 275

LOCATION: Visitors' Quarters

USE: Kitchen

SIZE: Approx. 468 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1933

DESCRIPTION: The structure is a frame building of single wall construction. Foundations consist of concrete pads and wood posts, separated by termite shields and camouflaged by a latticework skirting. The hip roof of the rectangular building is finished with composition shingles. The walls are vertical plank siding. The building is divided into two areas - an enclosed kitchen area, and a screened eating area. Two girts, broken by the wood frames of the double hung windows, encircle the exterior of the enclosed (kitchen) area. The corners of the building are finished with cornerboards. The sole plate is surrounded by a water table. The structure is used frequently, and is in good condition. Any termite damage should be repaired, and the building should be fumigated.

SIGNIFICANCE: No real architectural significance. Historically, the building is part of the visitor's compound. The structure is now used by visitors for meal preparation and consumption, since no other facilities are available.

MAINTENANCE COST: \$1300

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 277 (Wilcox Memorial Building)

LOCATION: Visitor's Quarters

USE: Visitor accommodations, and supervisor's office

SIZE: Approx. 1600 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1931

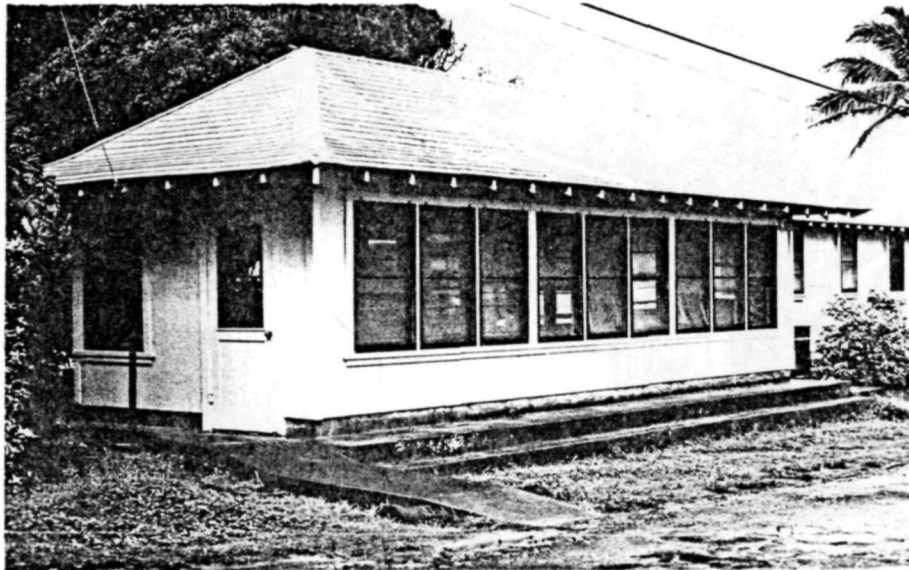
DESCRIPTION: The structure is a frame building of single wall construction. The foundation consists of concrete and stone footings, and wood posts camouflaged by a latticework skirting. The walls are vertical plank siding. Corners of the structure are finished with cornerboards. A recessed corner porch with chamfered posts and diamond-patterned railing is incorporated under the hip roof in the northeast corner of the building. The hip roof has a louvered gablet for ventilation. A smaller hip roof which covered an addition to the building intersects the main roof in the west corner of the building. The wood frame windows are double hung (twelve-light). A shed roof extension in the south corner of the building shelters an open washing area. A small recessed porch is located at the rear (southeast) of the building. The structure is used and in good condition. The building should be fumigated, and any termite damage should be repaired. When a new roof is needed (the present roof seems to be in good condition), the original fabric (wood shingles) should replace the present fabric.

SIGNIFICANCE: More information should be tracked down on the historical background of this building, including an accurate date. Architecturally the building is not the most outstanding of its type.

MAINTENANCE COST: \$1800

FUTURE MAINTENANCE COST: \$800/annum

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 278

LOCATION: Visitor's Quarters

USE: Former visiting pavilion

SIZE: Approx. 408 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1933

DESCRIPTION: The structure is a frame building of single wall construction, built on a concrete platform. The hip roof is finished with composition shingles. Walls consists of vertical plank siding, with large sections of double hung windows running nearly the entire length of both sides of the structure. Doors are located at the northwest and southeast side of the building, as well as the southwest side. A table with wood benches on either side, runs the entire length of the interior of the building. The building is in good condition, and is no longer used. The structure should be fumigated, and any termite damage found should be repaired.

SIGNIFICANCE: The only place in the settlement during the 1930's where patients and visitors could meet. Originally a screen running the length of the building's interior separated them from physical contact. The entire visitors' compound was fenced in and visitors were not permitted to wander outside the compound, nor patients permitted to wander inside.

MAINTENANCE COST: \$1000

FUTURE MAINTENANCE COST: \$350/annum

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 522

LOCATION: Visitors' Quarters

USE: Former garage (?), telephone sub-station

SIZE: Approx. 10 x 19

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction with a board and batten exterior finish. The building rests on a concrete foundation. The gable roof (with shed extension covering alteration to rear) is finished with rolled composition roofing material. The main double doors are located at the northeast side of the building. A smaller door is located on the north side. The building is used, and is in fair condition. The structure should be fumigated, and termite damage repaired. The building should be re-roofed and painted. Vegetation should be cleared from the base of the structure.

SIGNIFICANCE: None

MAINTENANCE COST: \$2900

FUTURE MAINTENANCE COST: \$150/annum

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 523

LOCATION: Visitors' Quarters

USE: Abandoned Patient's restroom

SIZE: Approx. 6 x 10

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction. The floor consists of a concrete slab. Walls are vertical plank siding. The hip roof is finished with rolled roofing material. The corners of the structure are finished with cornerboards. The structure is in deteriorated condition, and has not been used for years.

SIGNIFICANCE: Former restroom for patients when they came to see visitors in the visitors compound. No architectural significance.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 16, 1977



STRUCTURE: Building 258

LOCATION: Slaughter house

USE: _____

SIZE: Approx. 18 x 22

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

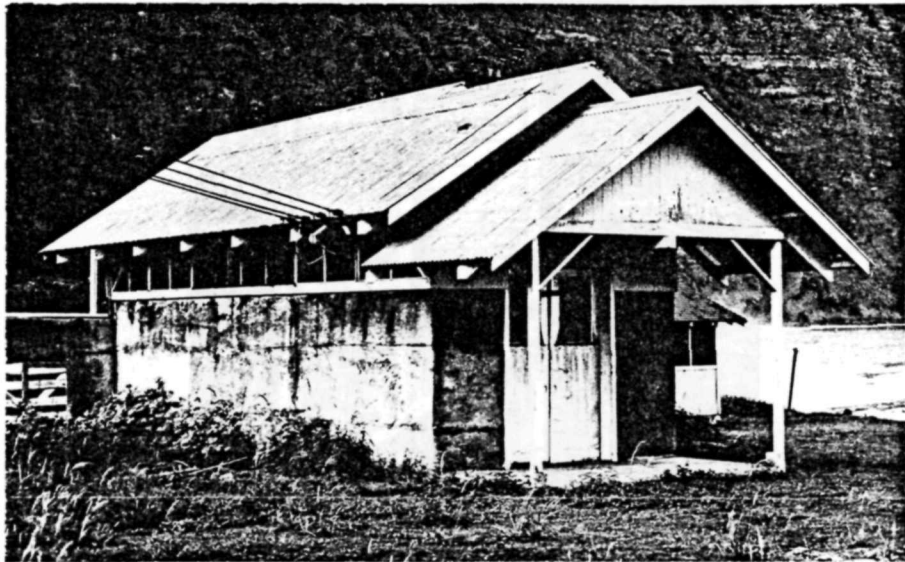
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The gable roof is finished with composition shingles. Ventilation louvers are located at the gable ends. The foundation consists of a concrete slab. The structure is in poor condition. The building should be fumigated and painted. Termite damage should be repaired to the extent that the building is serviceable, and some siding should be replaced.

SIGNIFICANCE: None

MAINTENANCE COST: \$1900

FUTURE MAINTENANCE COST: \$200/annum

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 630

LOCATION: Slaughter house

USE: Slaughter house

SIZE: Approx. 450 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

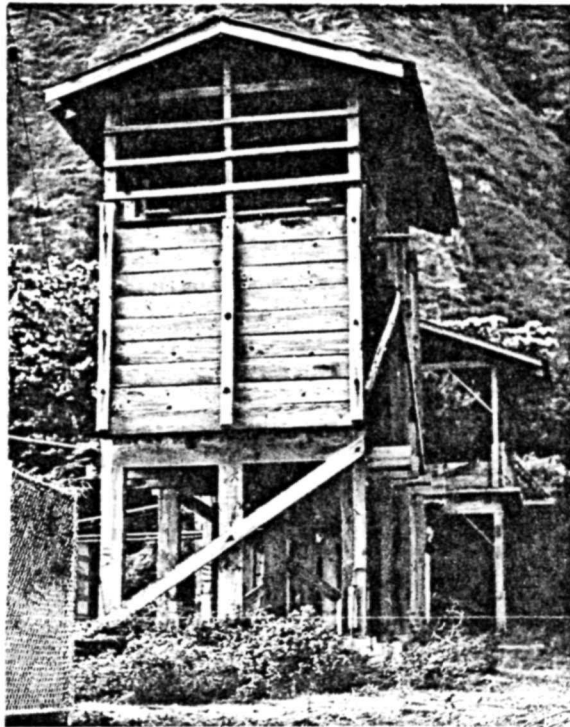
DESCRIPTION: The structure is a reinforced concrete and frame building (lower 2/3 concrete, upper 1/3 and roof, frame), with a concrete foundation. The gable roof is divided into three sections, and is covered with corrugated metal. Attached to the building on the southeast side are a corral and chute. The building is used once a month, for slaughter. The structure is in fair condition, for a slaughter house. The building should be fumigated to protect the wood from termites. The interior and exterior should be cleaned and painted.

SIGNIFICANCE: No known

MAINTENANCE COST: \$2,300

FUTURE MAINTENANCE COST: \$200/annum

DATE OF REPORT: January 15, 1977



STRUCTURE: Structure 635

LOCATION: Former Baldwin Home

USE: Rock Crusher and gravel separator

SIZE: Approx. 20 x 50

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a timber frame rock crushed and gravel separator, with each section appropriately divided (one crushed, 3 separators for different sizes). The gable and shed roofs which protect the structure are covered with corrugated metal. The structure seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 15, 1977

DAMIEN ROAD, SOUTH SIDE

(Private Structures)



STRUCTURE: Building 515

LOCATION: Puahi Street, across from Bayview

USE: Garage and storage building

SIZE: Approx. 400 sq. ft. OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

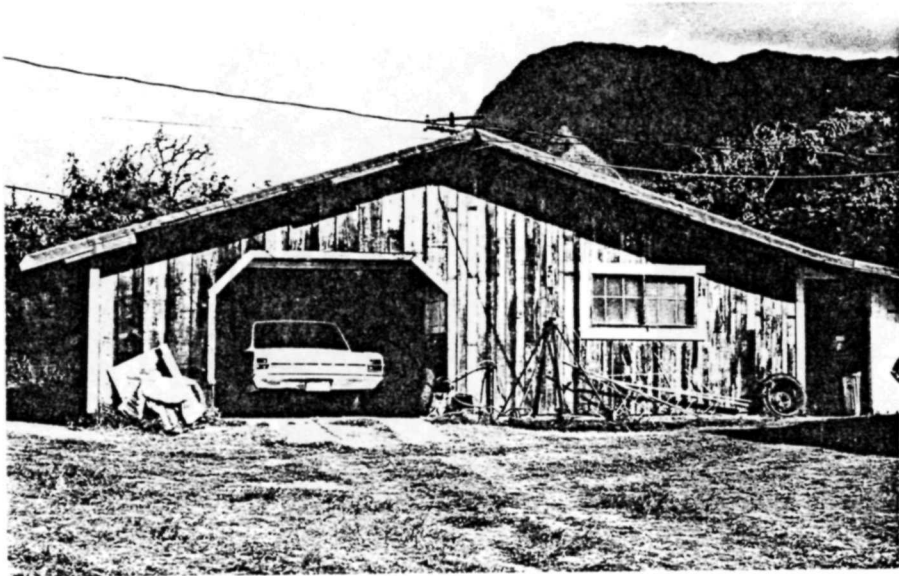
DESCRIPTION: The structure is a single wall frame building with a partial concrete foundation. The gable roof is finished with rolled composition roofing which has been applied over wood shingles. The structure is in deteriorated condition, and seems to have been constructed of recycled materials.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 516

LOCATION: Puahi Street across from Bay View

USE: Garage, storage building

SIZE: Approx. 40 x 50

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction, constructed on a concrete slab. The exterior walls are simply vertical plank siding. The corners of the structure are finished with cornerboards. The structure seems to be in fair condition. The gable roof is finished with rolled composition roofing material.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 520

LOCATION: Puahi Street, across from Bay View

USE: Storage building garage

SIZE: Approx. 20 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction, on a concrete foundation. The exterior finish is a combination of board and batten and 4 x 8 plywood sheeting. The structure has a shed roof, which is finished with corrugated metal roofing. The structure is used, and seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 521

LOCATION: Puahi Street, across from Bay View

USE: Hothouse

SIZE: Approx. 10 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame hot house, with lath strips for the perforated walls. The shed roof is finished with corrugated metal. The structure is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 531

LOCATION: Damien Road

USE: Garage, storage building

SIZE: Approx. 20 x 25

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

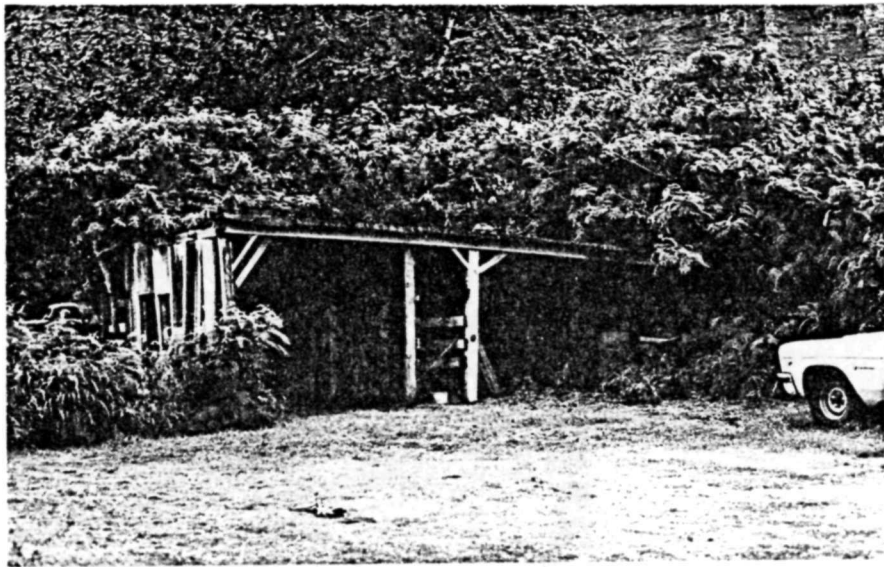
DESCRIPTION: The structure is a wood frame building of single wall construction. The foundation is obscured by vegetation. The shed roof is finished with corrugated metal. The building has been divided into a partially enclosed carport section, and a storage room. The exterior wall finish is vertical plank siding. The corners of the structure are finished with cornerboards. The building is in use, and in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 532

LOCATION: Damien Road

USE: Carport

SIZE: Approx. 20 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame carport, open on two sides and divided in the center by supporting posts. Most of the posts rest on concrete footings; some are directly on grade. The shed roof is finished with rolled composition roofing material. The building seems to have been put together from recycled materials. The structure is leaning, and in a state of disrepair.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 533

LOCATION: Damien Road

USE: Shelter (lanai for picnics, parties)

SIZE: Approx. 20 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building with vertical plank siding. The shed roof is finished with corrugated metal. The building was constructed on a concrete slab. The structure is used, and is in good condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 534

LOCATION: Damien Road

USE: Garage, storage shed

SIZE: Approx. 10 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a wood frame building constructed on concrete footings. The shed roof is finished with corrugated metal. The building is used for storage, and seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 535

LOCATION: Damien Road

USE: Abandoned presently

SIZE: Approx. 15 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building, constructed on concrete footings. The shed roof is finished with rolled composition roofing material. The structure is being overgrown, and is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 536

LOCATION: Damien Road

USE: Garage

SIZE: Approx. 15 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

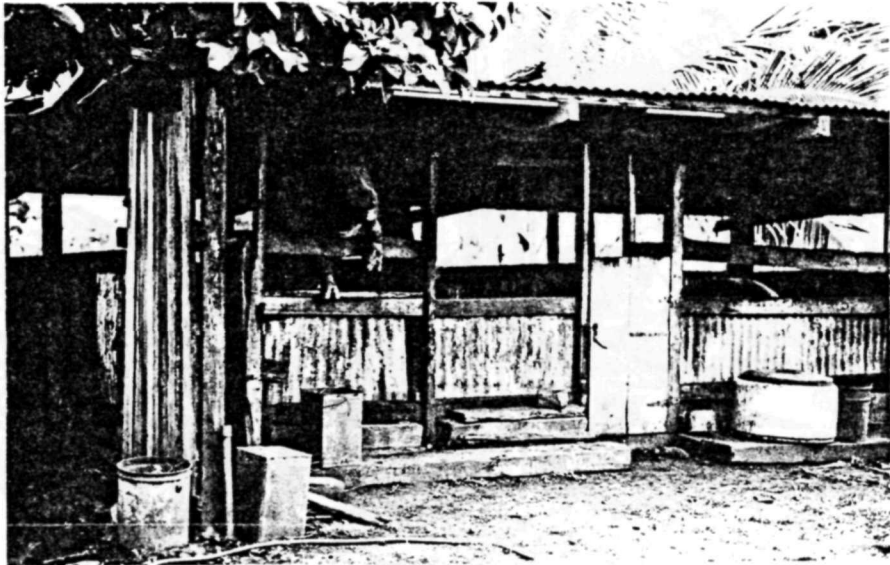
DESCRIPTION: The structure is dirt; foundations are unknown. The gable roof is finished with rolled composition roofing material. The exterior finish is board and batten. The structure is used, and in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 537

LOCATION: Damien Road

USE: Pig sty

SIZE: 20 x 50 (incl. corral) OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame shed which seems to have been constructed of recycled materials. The lower half of the shed is enclosed with materials such as corrugated metal sheets and plywood sheets. The upper half of the walls is open. The shed roof is covered with corrugated metal. A corral is attached to the structure (wood frame). The building is in use, and is occupied by two friendly pigs. The structure is in good condition for a pig sty.

SIGNIFICANCE: None, although it is an example of a vanishing way of life of Kalaupapa. Very few persons still raise animals for food in their back yards.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 538

LOCATION: Damien Road

USE: Storage

SIZE: Approx. 8 x 8

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

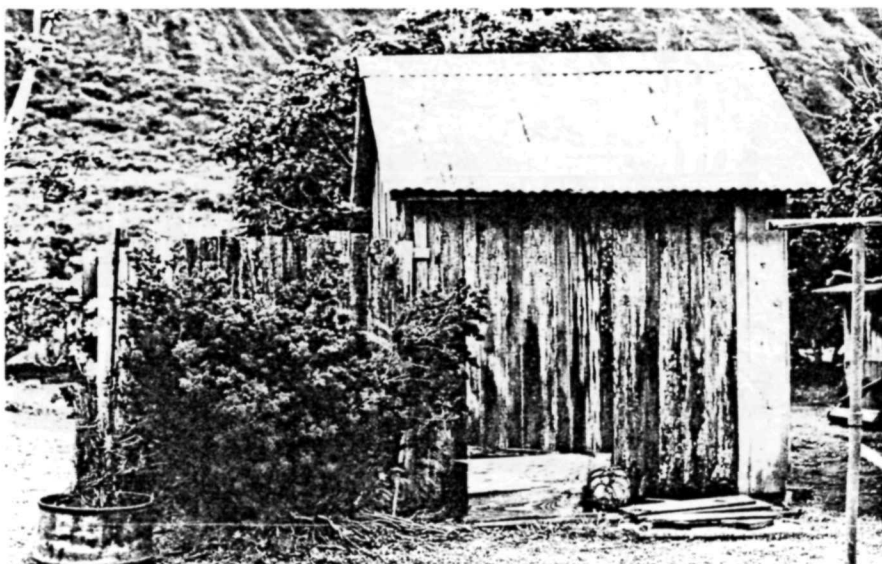
DESCRIPTION: The frame building is open on two sides. Two other sides are covered with vertical and horizontal planks. The shed roof is covered with corrugated metal. The structure is used, but in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 539

LOCATION: Damien Road

USE: Storage

SIZE: Approx. 10 x 12

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

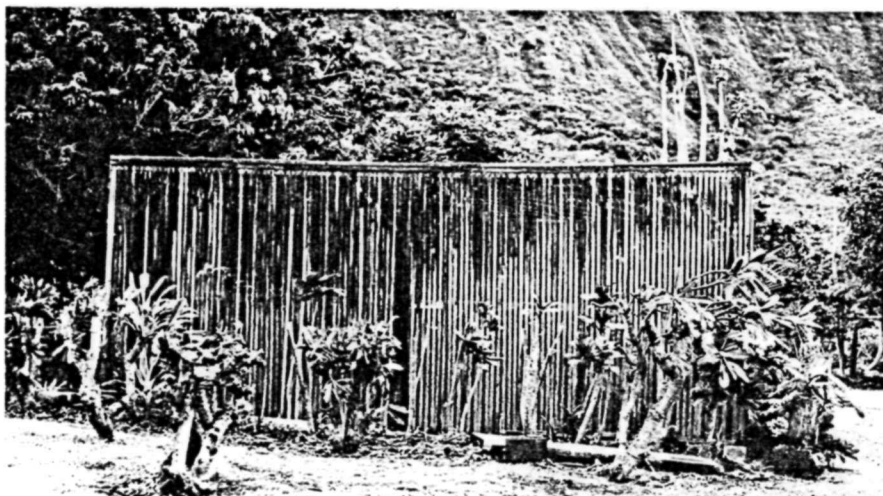
DESCRIPTION: The structure is a frame building of single wall construction. The exterior has a board and batten finish. The structure is built on concrete and stone footings. The gable roof is covered with corrugated metal. The structure is well-kept, but is riddled with termites and rot.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 540

LOCATION: Damien Road

USE: Hot house

SIZE: Approx. 10 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

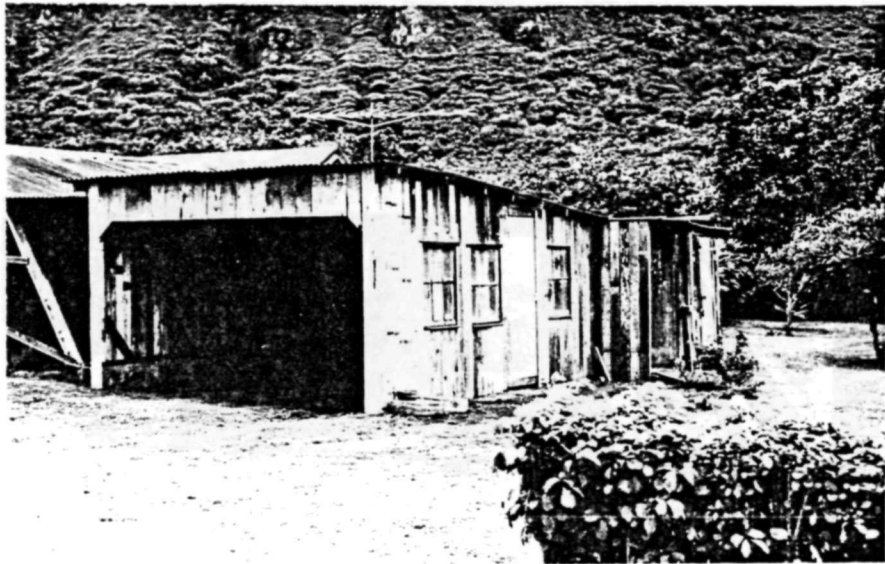
DESCRIPTION: The structure is a frame hothouse, with perforated walls and roof of lath-size wood strips. The structure is used, and in fair condition. The building is sagging, however.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 541

LOCATION: Damien Road

USE: Garage and storage shed

SIZE: Approx. 15 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

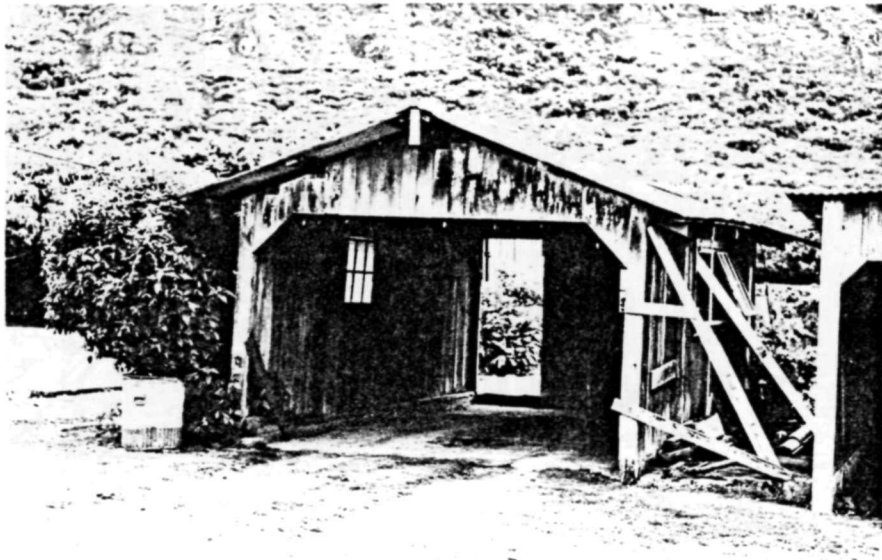
DESCRIPTION: The structure is a frame building of single wall construction. The foundation is concrete. The building seems to have been constructed of recycled materials. The shed roof is covered with corrugated metal. The building is in fair condition, and is used.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 542

LOCATION: Damien Road

USE: Garage

SIZE: Approx. 15 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

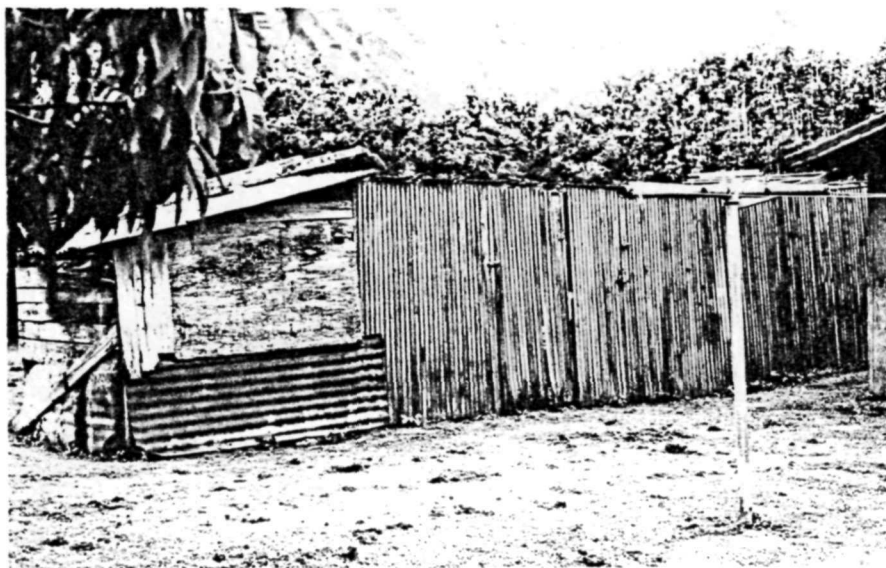
DESCRIPTION: The structure is a frame building of single wall construction. The exterior finish is a combination of vertical plank and board and batten siding. The building is constructed on a concrete slab. The gable roof is covered with corrugated metal. The structure is braced to check its leaning, and shows signs of termites and rot. The building is used, and in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 543

LOCATION: Damien Road

USE: Hot house

SIZE: Approx. 10 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building, on an uncertain foundation.

Most of the walls are perforated, and covered lath-size wood strips.

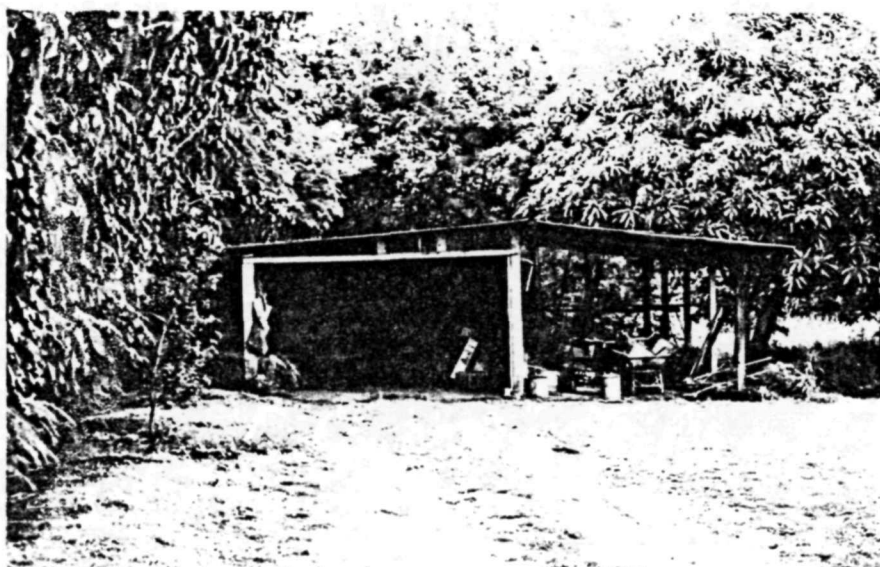
Other wall areas are finished with corrugated metal, horizontal planks, and plywood sheets. The shed roof are covered with the lath-size wood strips or corrugated metal. The structure is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 544

LOCATION: Damien Road

USE: Garage and storage shed

SIZE: Approx. 20 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

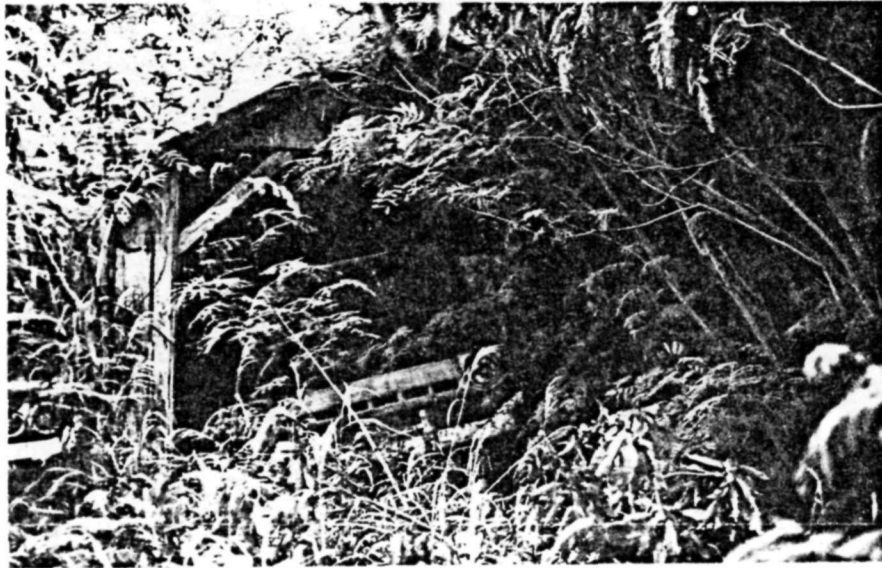
DESCRIPTION: The structure is a frame building of single wall construction with a partial concrete foundation. The building is divided into two sections - an open section for storage and partially enclosed section for a garage. Any exterior walls have vertical plank siding. The low gable roof is covered with corrugated metal. The structure is used, and is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 545

LOCATION: Damien Road

USE: Garage (for abandoned residence)

SIZE: Approx. 12 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction. The exterior finish is board and batten. The gable roof is finished with rolled composition roofing material. The structure is in deteriorated condition, and is overgrown by koa.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 546

LOCATION: Damien Road

USE: Hothouse

SIZE: 12 x 50

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structures (two which nearly run together) are frame buildings, with perforated walls and roofs which are sheathed with lath-size wood strips. The easternmost structure is in poor condition. The one to the west is in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 547

LOCATION: Damien Road

USE: Garage and storage shed

SIZE: Approx. 30 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

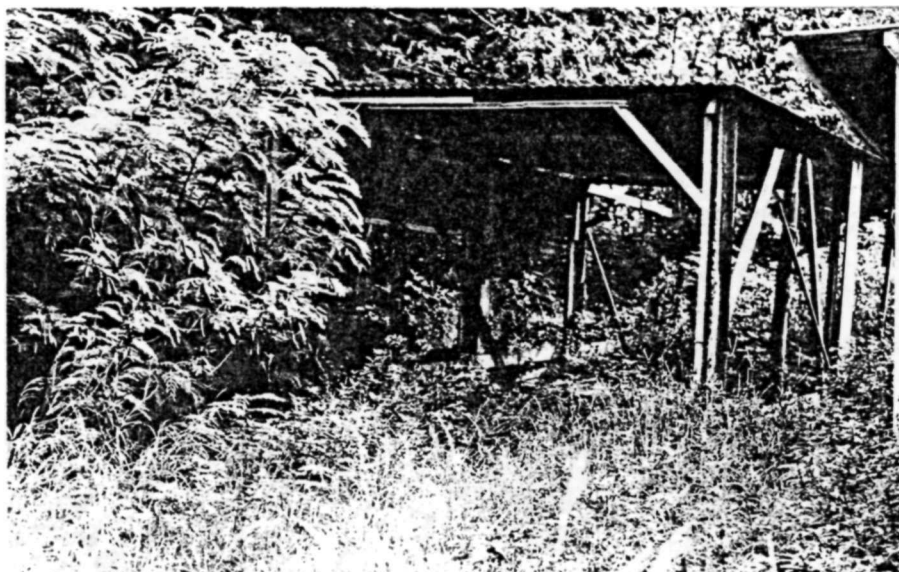
DESCRIPTION: The structure is a frame building of single wall construction. The walls are vertical plank siding. The foundations consist of stone and concrete footings. The shed roof is covered with corrugated metal. The building is used, and in fair to poor condition. The structure seems to have been built of recycled materials.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 548

LOCATION: Damien Road

USE: Abandoned carport

SIZE: Approx. 15 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a wood frame, with a corrugated metal shed roof. The structure is in deteriorated condition, and has not been used recently.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 15, 1976



STRUCTURE: Building 576

LOCATION: End of Damien Road

USE: Pig fram - storage

SIZE: Approx. 10 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

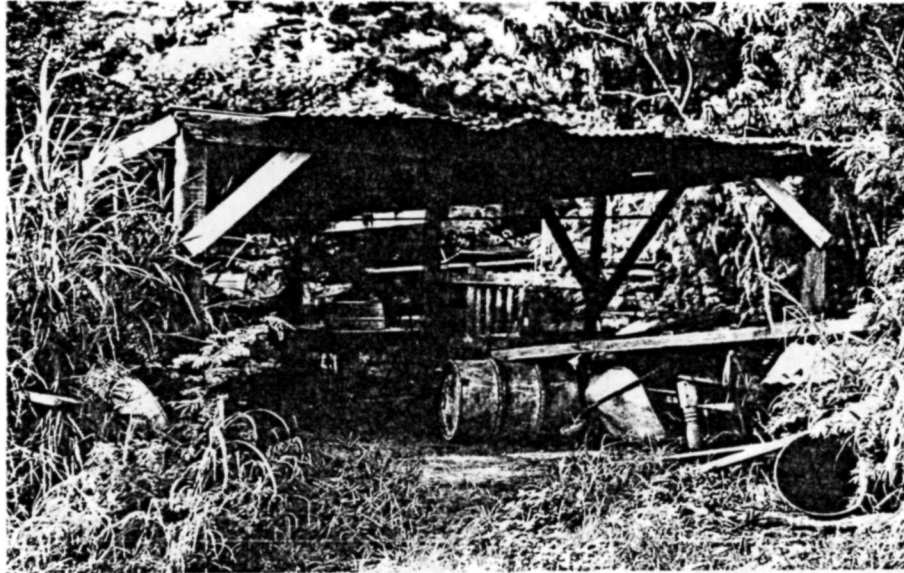
DESCRIPTION: The structure is a frame building of single wall construction. The shed roof is finished with rolled composition roofing material. The exterior walls are vertical plank siding, which seems to have been recycled from other structures. The structure is used intermittently and is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 577

LOCATION: End of Damien Road

USE: Shelter - pig farm

SIZE: Approx. 20 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a wood frame with a corrugated metal shed roof. It is used as the shelter for the slop preparation. The structure is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 578

LOCATION: End of Damien Road

USE: Storage - pig farm

SIZE: Approx. 15 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

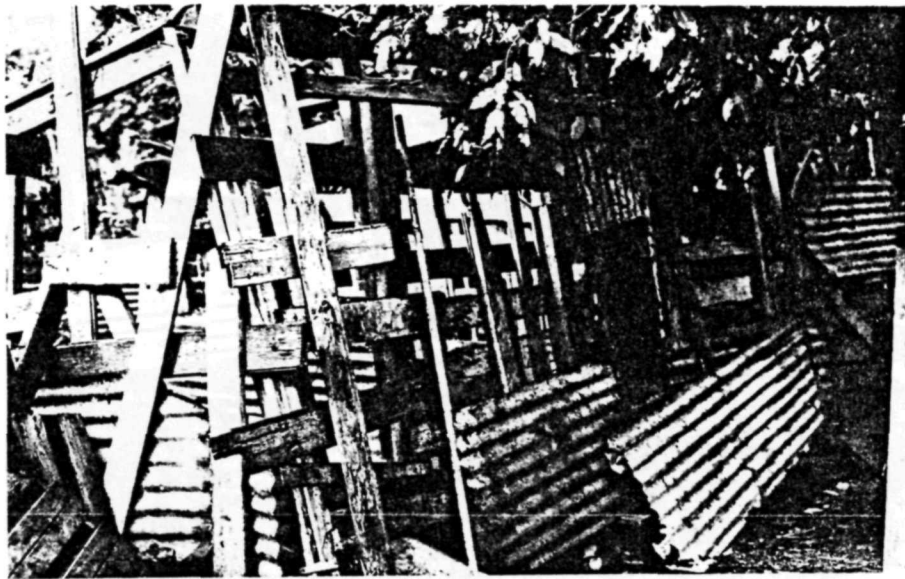
DESCRIPTION: The structure is a frame, covered with a corrugated metal roof. The structure is very deteriorated.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 579

LOCATION: End of Damien Road

USE: Pig sty

SIZE: Approx. 10 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

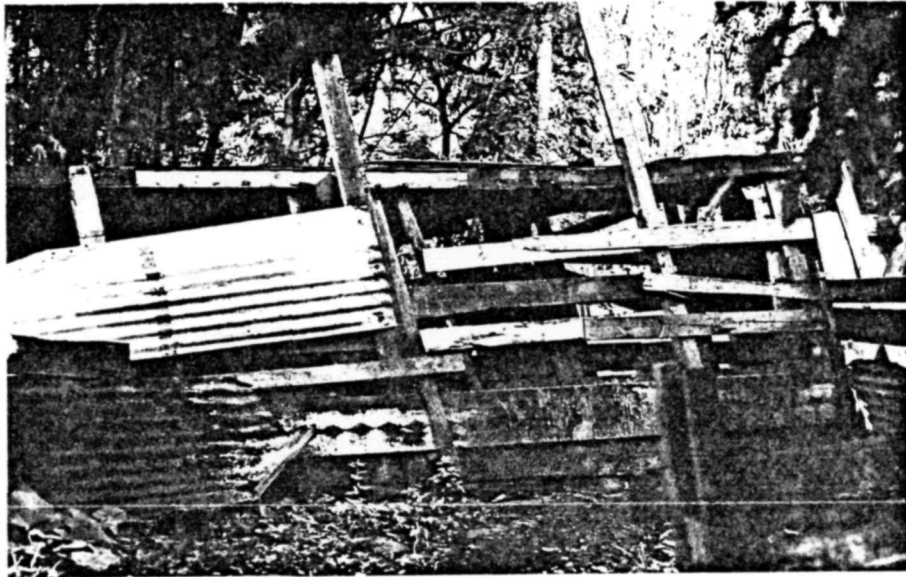
DESCRIPTION: The structure is a wood frame shed for pigs, with the remains of a shed roof finished with rolled composition roofing. Small sections of wall are covered with corrugated metal. The structure is in very deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 580

LOCATION: End of Damien Road

USE: Pig sty

SIZE: Approx. 10 x 15 OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame with a shed roof finished with
rolled composition roofing material. The structure is in deteriorated
condition, and is surrounded by wood fences and pens for the pigs. The
structure was built of recycled materials.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976

DAMIEN ROAD, SOUTH SIDE

(State-Owned Structures)



STRUCTURE: Residence 26

LOCATION: Damien Road, south side

USE: Residence

SIZE: Approx. 500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932?

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The irregularly shaped hip roof has a broken pitch, and is finished with composition shingles. Wooden steps provide access to the recessed corner porch which is incorporated under the hip roof. The wood frames of the twelve-light double hung windows project several inches from the exterior wall. A post and two pilasters articulate the edges of the porch. Other corners of the structure are finished with cornerboards. A broken girt encircles the exterior. A partially enclosed porch with a shed roof, is located at the rear of the rectangular structure. The building is not occupied, and in poor condition. The yard, and particularly the vegetation at the base of the structure should be cleared. Boards severely damaged by termites should be replaced. The structure should be fumigated, cleaned and painted, and re-roofed.

SIGNIFICANCE: This structure, nearly identical in plan to Building 16 at McVeigh Home, was probably constructed during the same year, and later moved to this location.

MAINTENANCE COST: \$7840

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 62-101

LOCATION: Puahi Street

USE: Residence

SIZE: Approx. 1100 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1962

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. A small wood porch, sheltered by an extension of the gable roof, provides access to the front door. The gable roof finished with composition shingles. The wood frames of the jalousie windows project from the exterior walls. A continuous girt encircles most of the exterior of the structure. The girt is broken at the southwest corner by two two-sash jalousie and fixed windows, divided vertically. A carport with a flat roof and a concrete slab foundation is located at the southeast corner of the structure. A second, smaller carport constructed mainly of recycled materials is located at the north side of the building. The structure is occupied, and in good condition. The building should undergo routine termite fumigation, and a small section of roof needs patching.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 102

LOCATION: Puahi Street

USE: Residence

SIZE: Approx. 1300 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one story building of single wall construction, with a stone pad and concrete foundation. The exterior finish is board and batten. The building was formerly a duplex residence, but is currently unoccupied (used for storage?). The front of the structure is symmetrical (the rear was inaccessible due to vegetation). The main section of the building has a gable roof with a shed extension which covers the veranda running the length of that section. On the north and south side are wings with hip roofs. All roofs are finished with rolled composition roofing, which has been placed over wood shingles. The building has minor details such as jigsaw brackets which contribute to its architectural character. The roof is sagging and the structure is in such deteriorated condition that preservation costs would be prohibitive, considering the relative significance of the structure.

SIGNIFICANCE: Of local architectural significance with good detailing, but these elements are repeated in other structures of the same vintage which are in better condition (single family as opposed to duplex). Preservation of a representative example in better condition is recommended.

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 64-103

LOCATION: Puahi Street

USE: Residence

SIZE: Approx. 1000 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1964

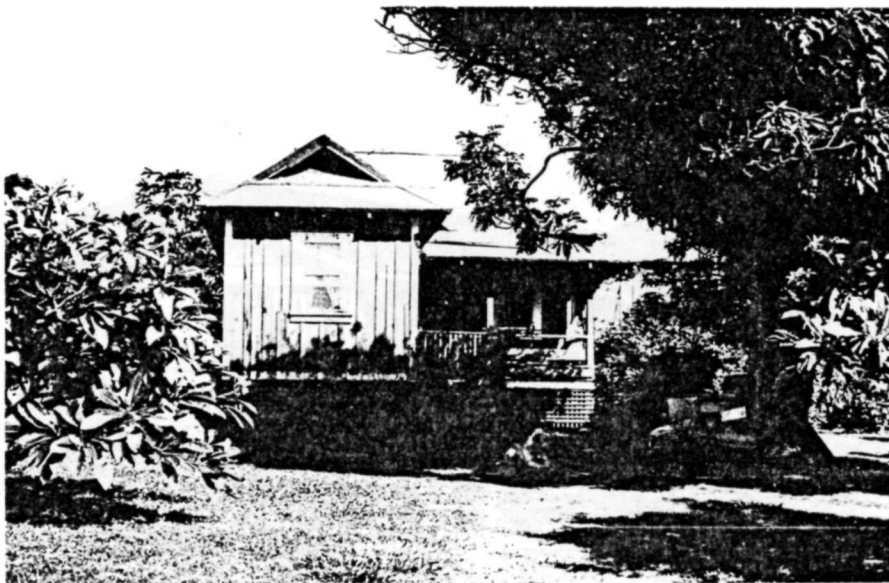
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. A termite shield is located between the concrete pad and wood post. The gable roof is finished with grey composition shingles. A small wooden front provides access to the front door, and it is sheltered by an extension of the gable roof. The wood frames of the jalousie windows project several inches from the exterior wall. A broken girt encircles the exterior of the structure. A carport, with a flat roof and concrete slab foundation protrudes from the north side of the structure. The building is occupied and in good condition. Vegetation should be cleared from the base, and the structure should be fumigated.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$1800

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 104

LOCATION: 104 Puahi Street

USE: Residence

SIZE: 900 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction (board and batten), with a stone and post foundation. The gable roof with gables is finished with green rolled composition roofing. The structure seems to have been built in several stages. The exterior of the building is board and batten. The windows are twelve-light double hung. A latticework skirting is located around the base of the structure. A recessed wood porch is located under the main roof section. The structure is occupied, but in deteriorated condition. Much of the siding needs replacement, as do some of the roof members and footings. The structure should be fumigated, re-roofed and painted.

SIGNIFICANCE: Date of the structure should be further researched to see if the building dates back to the Baldwin Home.

MAINTENANCE COST: \$13,720

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 62-105

LOCATION: Damien Road, south side

USE: Residence

SIZE: Approx. 1100 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1962

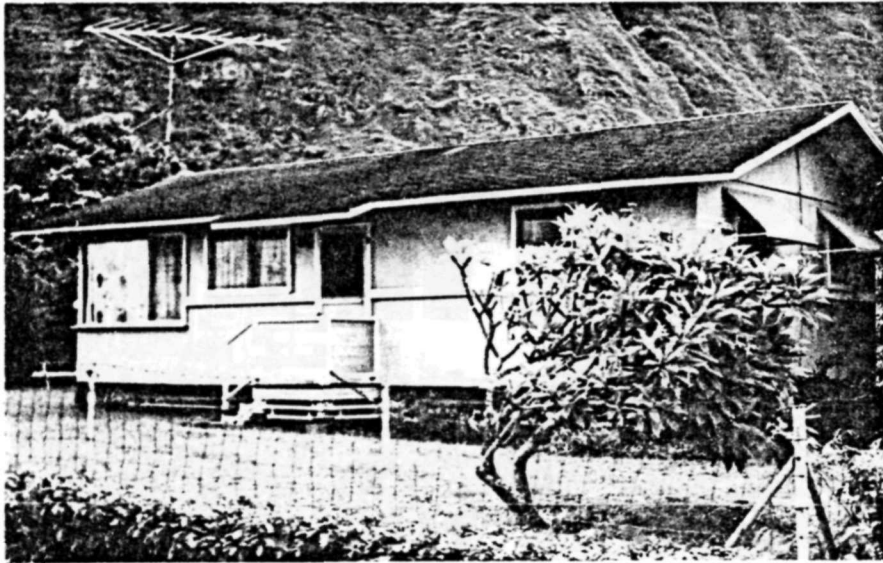
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. A small wood porch, sheltered by an extension of the gable roof, provides access to the front door. The gable roof is finished with composition shingles. The wood frames of the jalousie windows project from the exterior walls. A continuous girt encircles most of the exterior of the structure. The girt is broken at the east corner by two two-sash jalousie and fixed windows, divided vertically. A carport with a shed roof and a concrete slab foundation is located at the southeast corner of the structure. The structure is occupied and in good condition, although in need of minor board replacement, painting and fumigation.

SIGNIFICANCE: None - Hicks Home

MAINTENANCE COST: \$2600

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Residence 62-106

LOCATION: Damien Road, south side

USE: Residence

SIZE: Approx. 1100 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1962

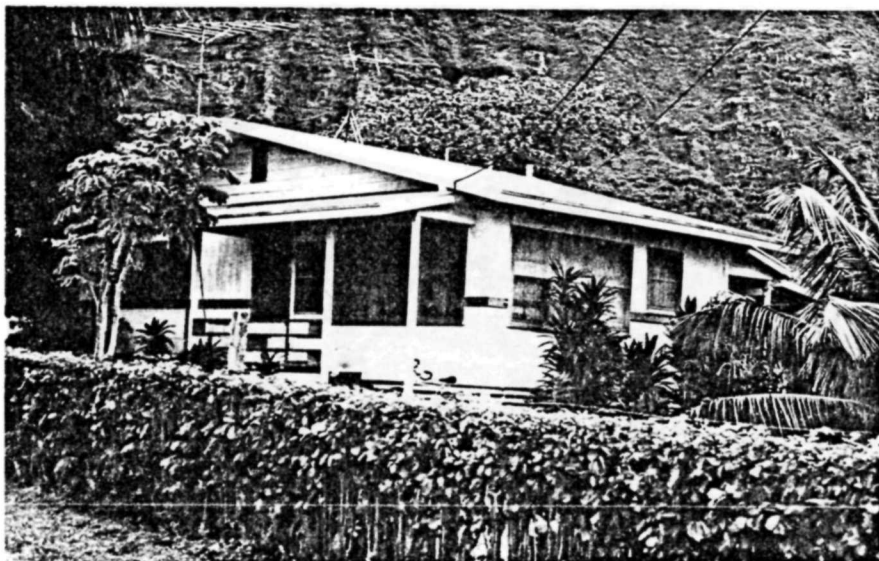
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. A small wood porch, sheltered by an extension of the gable roof, provides access to the front door. The gable roof is finished with composition shingles. The wood frames of the jalousie windows project from the exterior walls. A continuous girt encircles most of the exterior of the structure. The girt is broken at the east corner by two two-sash jalousie and fixed windows, divided vertically. A carport with a shed roof and concrete slab foundation is located at the southeast corner of the structure. The structure is in good condition, and is occupied. The building should be fumigated.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$2600

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 56-107

LOCATION: Damien Road, south side

USE: Residence

SIZE: Approx. 1200 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1956

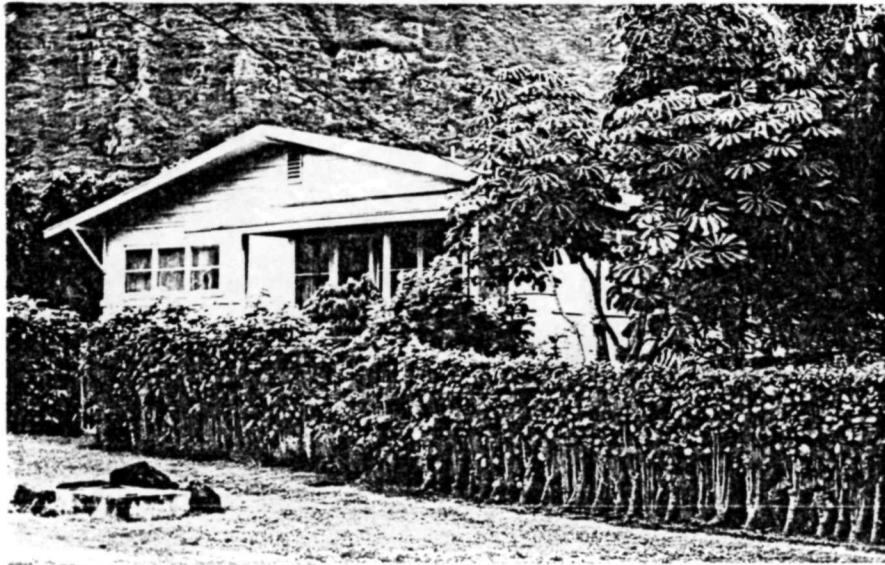
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The gable shed roof provides access to the front entrance to the dwelling. The wood frames of the two sash double hung windows project several inches from the exterior walls. A continuous girt surrounds most of the structure, except at the northwest corner, where it is broken by the front door and a series of windows. A carport with a concrete slab foundation and a shed roof is located at the rear (south) of the structure. The building is occupied and in good condition. Some wood should be replaced due to termite damage, and the structure should be fumigated and painted.

SIGNIFICANCE: Hicks Home - None

MAINTENANCE COST: \$2600

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 56-108

LOCATION: Damien Road, south side

USE: Residence

SIZE: Approx. 1200 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1956

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The gable roof is finished with metal roofing. A small wood porch with a shed roof provides access to the front entrance to the dwelling. The wood frames of the two sash double hung windows project several inches from the exterior walls. A continuous girt surrounds most of the structure, except at the northwest corner, where it is broken by the front door and a series of windows. A carport with a concrete slab foundation and a flat roof is located at the rear (south) of the structure. The building is occupied and in good condition. Some wood should be replaced, due to termite damage, and the structure should be fumigated and painted.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$2600

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 65R-109 (formerly 29)

LOCATION: Damien Road, south side

USE: Residence

SIZE: Approx. 500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932?

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The irregularly shaped hip roof has a broken pitch, and is finished with green composition shingles. Wooden steps provide access to the recessed corner porch which is incorporated under the hip roof. A post and two pilasters articulate the edges of the porch. Other corners of the structure are finished with cornerboards. The wood frames of the twelve-light double hung windows project several inches from the exterior wall. A broken girt encircles the exterior. A partially enclosed porch with a shed roof is located at the rear of the L-shaped structure. The building is not occupied, and is in poor condition. The yard, and particularly the vegetation at the base of the structure should be cleared. Boards severely damaged by termites and rot should be replaced. The structure should be fumigated, cleaned, painted and re-roofed.

SIGNIFICANCE: This structure, similar in plan to building 16 at McVeigh Home, was probably constructed during the same year (1932) and later moved to this location (1965).

MAINTENANCE COST: \$7840

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 64-110

LOCATION: Damien Road, south side

USE: Residence

SIZE: Approx. 1200 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1964

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The gable roof is finished with composition shingles. A small wooden front porch provides access to the front door. The wood frames of the jalousie windows project several inches from the exterior wall. A two-sash jalousie and fixed window divided vertically, is located to the east of the front door. A broken girt encircles the exterior of the structure. A carport, with a flat roof and a concrete slab foundation protrudes from the east side of the structure. The building is occupied and in good condition. There are termites, however in the oak floor and the plywood door. (Walls are redwood). The structure should be fumigated.

SIGNIFICANCE: None, Hicks Home

MAINTENANCE COST: \$1800

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 56-111

LOCATION: Damien Road, south side

USE: Residence

SIZE: Approx. 1200 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1956

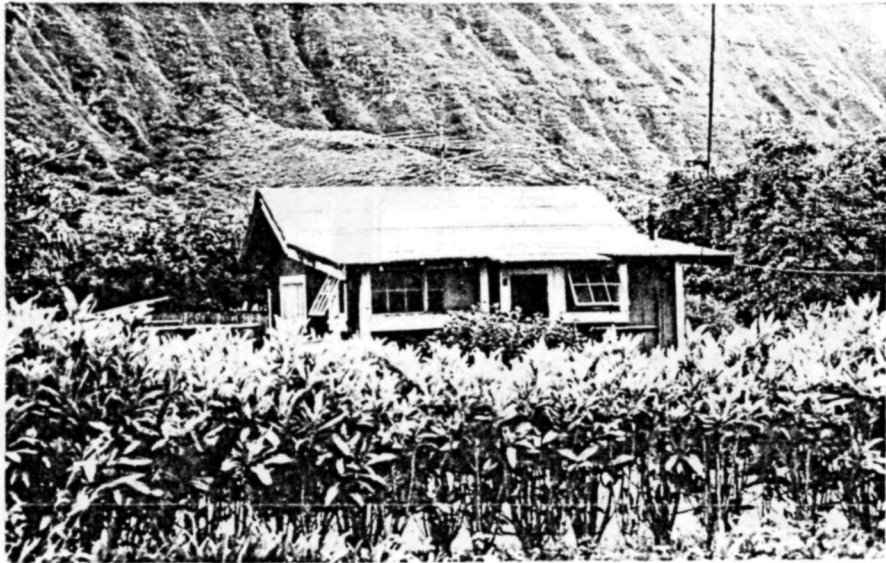
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The gable roof is finished with metal roofing. A small wood porch with a shed roof provides access to the front entrance to the dwelling. The wood frames of the two-sash double hung windows project several inches from the exterior walls. A continuous girt surrounds most of the structure, except at the northeast corner, where it is broken by the front door and a series of windows. A carport with a concrete slab foundation and a shed roof is located at the rear (south) of the structure. The building is occupied, and in good condition. The structure should be fumigated.

SIGNIFICANCE:

MAINTENANCE COST:

FUTURE MAINTENANCE COST:

DATE OF REPORT:



STRUCTURE: Building 158

LOCATION: Damien Road, south side

USE: Residence

SIZE: Approx. 500 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1937 (according to Mr. Ogawa's records)

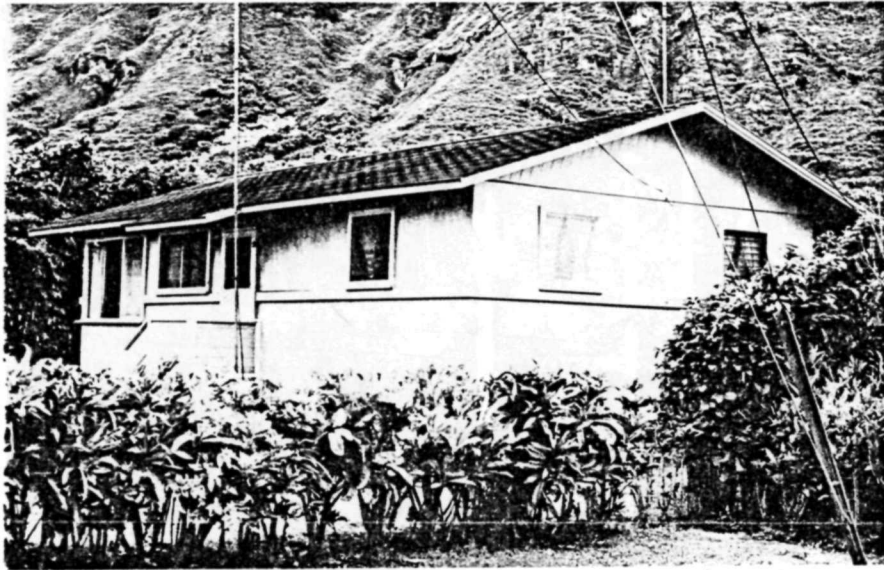
DESCRIPTION: The structure is a one-story building of single wall construction, with a stone and concrete pad and wood post foundation. The gable and shed (salt box) roof is finished with rolled composition roofing material. The exterior finish of the structure is board and batten. The six-light hinged windows open out from the bottom. The structure also has twelve-light sliding windows. A wash house and shed are attached to the rear (south) of the structure. The structure is occupied and in poor condition. The building should continue to be maintained. Some of the boards should be immediately replaced. The structure should be fumigated, painted and re-roofed.

SIGNIFICANCE: Architecturally, just simple vernacular. Dissimilar enough to other contemporary structures to warrant further research.

MAINTENANCE COST: \$4800

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 62-159

LOCATION: Damien Road, south side

USE: Residence

SIZE: Approx. 1100 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1962

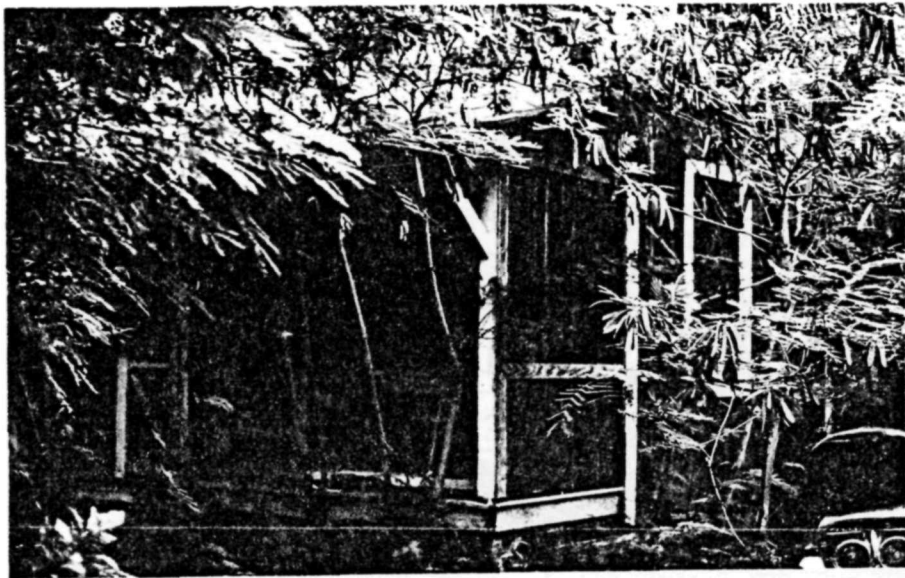
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. A small wood porch, sheltered by an extension of the gable roof, provides access to the front door. The gable roof is finished with green composition shingles. The wood frames of the jalousie windows project from the exterior walls. A continuous girt encircles most of the exterior of the structure. The girt is broken at the east corner by two two-sash jalousie and fixed windows divided vertically. A carport with a shed roof and concrete slab foundation is located at the southeast corner of the structure. The structure is occupied, and in good condition, although in need of minor board replacement, painting, and fumigation.

SIGNIFICANCE: Hicks home, none

MAINTENANCE COST: \$2600

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 160

LOCATION: Damien Road, south side

USE: Former Residence

SIZE: Approx. 20 x 40

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction (board and batten), with a stone and post foundation. The gable roof is finished with green rolled composition roofing. A veranda extends across the front of the structure, and is recessed under a shed roof. The wood frames of the twelve-light double hung windows (most of which have been broken) project several inches from the exterior walls. The building is being overgrown with vegetation quite rapidly. The structure is deteriorated beyond repair. Much of the interior flooring has been ripped out.

SIGNIFICANCE: Probably none, however the date of the structure should be researched, and should be better recorded in photographs before it is demolished. (The yard should be cleared around the structure, then the building photographed).

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 281 (104-A?)

LOCATION: 281 Puahi Street

USE: Residence

SIZE: Approx. 800 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction, with a stone and concrete pad and post foundation. The structure has a hip roof with a gablet for ventilation. The roof of the rectangular building is finished with composition shingles. The wood frames of the double-hung windows project several inches from the exterior wall. A broken girt encircles the exterior of the structure. A wood porch at the west side of the structure, sheltered by an overhanging extension of the roof, provides access to the front porch. The structure is occupied and in fair condition. The building is infested with termites, so that some board replacement will be necessary. Old roofing materials should be removed when the structure is re-roofed. Vegetation should be cleared from the base of the structure. The building should be fumigated and painted.

SIGNIFICANCE: Date of the structure is listed as 1931 in the building files at Kalaupapa. The structure is not similar to other Kalaupapa buildings, and could have been one of the buildings moved from the Baldwin home located near the rock crusher. Further historic research is warranted; minimal architectural significance.

MAINTENANCE COST: \$3200

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 64-311

LOCATION: Damien Road, South side

USE: Residence

SIZE: Approx. 1200 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1964

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. Termite shields are located between the concrete pads and wood posts. The gable roof is finished with composition shingles. A small wooden front porch, provides access to the front door. The wood frames of the jalousie windows project several inches from the exterior wall. A fixed sash picture window is also located at the front of the structure. A broken girt encircles the exterior of the structure. A carport, with a flat roof and concrete slab foundation protrudes from the east side of the structure. The building is occupied and in good condition. Some vegetation should be cleared from the base of the structure, to discourage rot and termites. The eaves of the L-shaped structure should be touched up with paint. The building should be fumigated.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$1600

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 12, 1977

