

KALAUPAPA BUILDING INVENTORY

KALAUPAPA - HAWAII

RESIDENTIAL AREA - PRIVATE OWNED STRUCTURES

- Americans of Japanese Ancestry Benevolent Society 308
(Social Hall)
- Storage Building 309
- Residences

RESIDENTIAL AREA - STATE OWNED STRUCTURES

- Residences

STAFF ROW - PRIVATE STRUCTURES

- Small Storage Buildings

STAFF ROW - STATE OWNED STRUCTURES

- Guest Cottage - SR 1-A
- Building 1 - Ladies Dormitory
- Building 3 - Laundry
- Building 5 - Dining Hall/Kitchen
- Building 6 - Freezer Shelter
- Building 7 - Residence
- Building 8 - Residence
- Building 9 - Residence
- Building 10 - Residence
- Building 14 - Residence
- Building 16 - Residence

RESIDENTIAL AREA

(Private Structures)



STRUCTURE: Building 308

LOCATION: McKinley Street

USE: Americans of Japanese Ancestry Benevolent Society (Social Hall)

SIZE: Approx. 900 sq. ft. OWNERSHIP: Private

DATE OF STRUCTURE: 1910 (according to National Register form)

DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. The symmetrical structure has a cruciform shape. The main gable roof is intersected by the hip roofs of the wings which are approximately one foot lower than the top of the gable. A possible addition, with a shed roof is located at the rear. A projecting portico, with a gable roof is the main entrance to the structure. The corners of the portico are articulated by two chamfered posts and two chamfered pilasters. All roofs are finished with corrugated metal. Most of the foundation is camouflaged by latticework skirting. The wood frame windows are double hung (twelve-light). The front entrance has a five-panel double door. Five panel doors also are located at the wing entrances on either side. A broken girt encircles the exterior of the structure, except for the rear wing, which is simply the vertical plank siding. The corners of the structure are finished with cornerboards. The lower portion of the building is finished with a wide water table. All trim is painted white, which contrasts with the pea-green of the plank siding. The structure is in deteriorated condition, and is in need of approximately 50 percent board-by-board reconstruction, fumigation and painting. The building is used for storage, and intermittently for social gatherings. A mill stone of fine-grained stone is located at the rear of the building. The origins and specific use of the stone are unknown.

SIGNIFICANCE: The structure is well-proportioned and finely put together. The history warrants further research. The structure is not a Monument of Hawaiian Architecture, but a symmetrical and formal building interpreted with the simplicity, rudeness and charm of Hawaiian vernacular architecture.

MAINTENANCE COST: \$23,300

FUTURE MAINTENANCE COST: \$600/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 309

LOCATION: McKinley Street

USE: Storage

SIZE: Approx. 18 x 18

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. The structure has a gable roof, finished with corrugated metal. An extension (addition?) on the north side of the structure is sheltered by a shed roof. Another shed roof, finished with wood shingles, covers the front entrance way. The corners of the structure are finished with cornerboards. The structure is in poor condition, and preservation is of questionable value.

SIGNIFICANCE: Not of architectural significance, and in more deteriorated condition than the main structure. Historical significance is also doubtful, but should be research before demolition is approved.

MAINTENANCE COST: \$9720

FUTURE MAINTENANCE COST: \$250/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 556

LOCATION: Kapiolani Street

USE: Garage

SIZE: Approx. 15 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

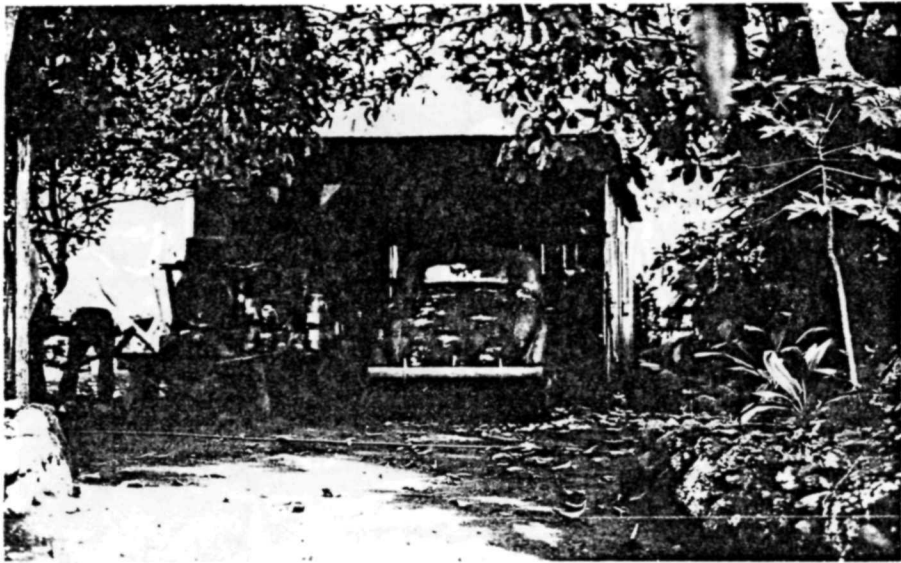
DESCRIPTION: The structure is a frame building of single wall construction.
The gable roof is finished with green rolled composition roofing material.
The structure is divided into two stalls. The floor is wood, which is
riddled with termites and rot. The structure is leaning, and in poor
condition, although in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1977



STRUCTURE: Building 558

LOCATION: Kapiolani Street

USE: Garage

SIZE: Approx. 15 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

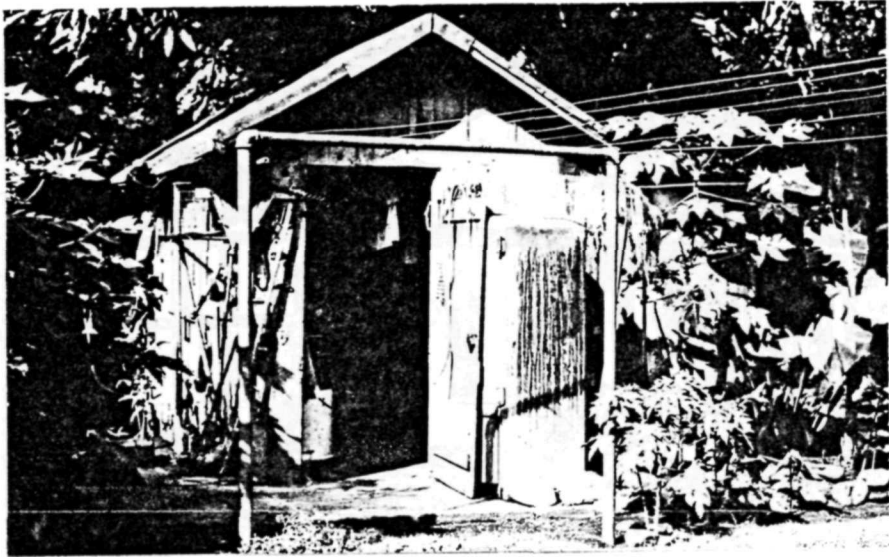
DESCRIPTION: The structure is a frame building of single wall construction. The exterior finish is board and batten. The structure has a shed roof. Although the structure is very well-kept, the wood is deteriorating due to rot and termites. The structure is in poor condition. The building was probably constructed of recycled materials.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 559

LOCATION: Kapiolani Street

USE: Tool shed

SIZE: Approx. 10 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown (pre-1939?)

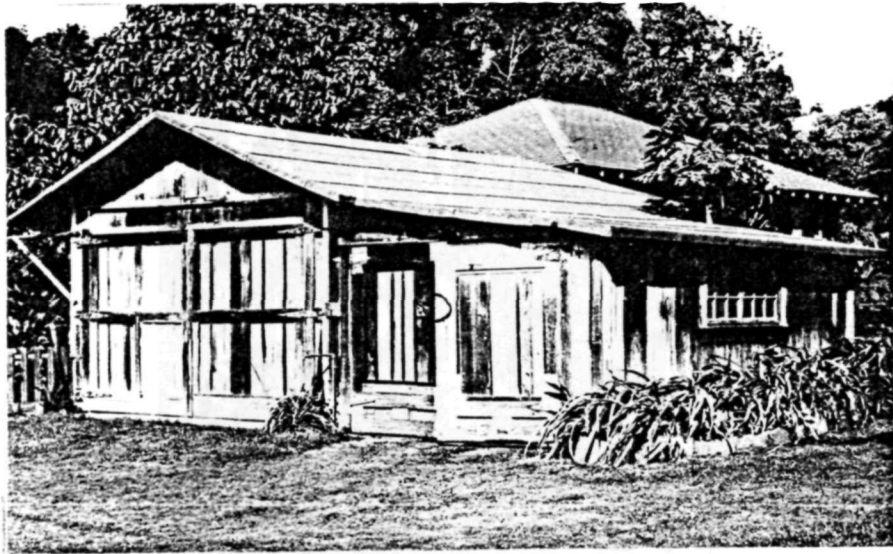
DESCRIPTION: The structure is a frame building of single wall construction. The gable roof is finished with rolled composition roofing material. The building is in fair to poor condition, and has termites. The structure still is in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 560

LOCATION: Kapiolani Street

USE: Garage and storage building

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown (pre-1939?)

DESCRIPTION: The structure is a frame building of single wall construction.

The foundation is concrete. The gable and shed roofs are finished with rolled composition roofing material. The walls are board and batten and vertical plank siding. The structure is in fair condition, considering all the rot and termites. The building was constructed of recycled materials.

SIGNIFICANCE: None, but a fine example of the recycling work.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 561

LOCATION: Kapiolani Street

USE: Abandoned garage

SIZE: Approx. 10 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

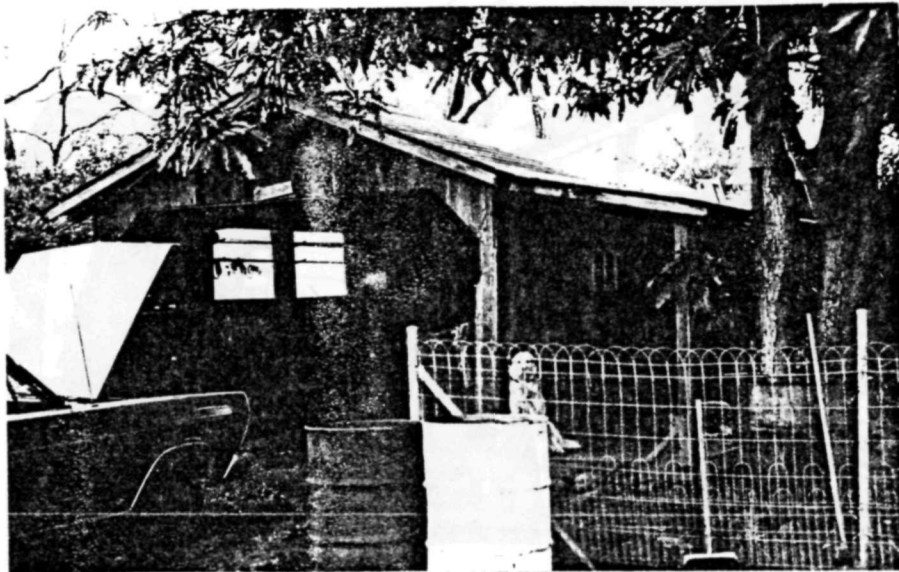
DESCRIPTION: The structure is a frame building with a shed roof and vertical plank siding, and a double door. The structure is so overgrown that it is barely visible. Presumed condition is deteriorated.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 562

LOCATION: Kaiulani Street

USE: Garage

SIZE: Approx. 15 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

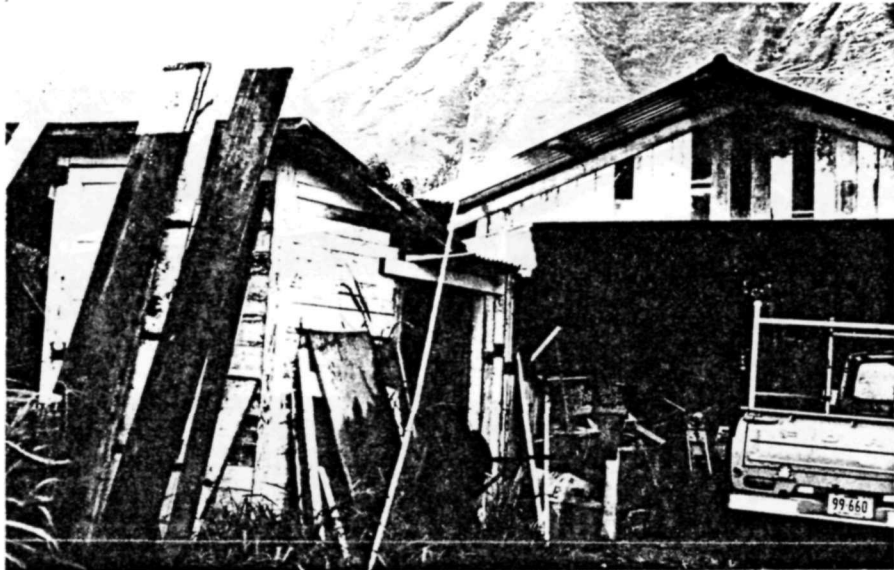
DESCRIPTION: The structure is a frame building of single wall construction with a concrete foundation. The gable roof and shed extension are finished with composition shingles. The structure has vertical plank siding. The building is in fair condition, and is still in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 563

LOCATION: Kaiulani Street

USE: Garage and storage

SIZE: Approx. 20 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

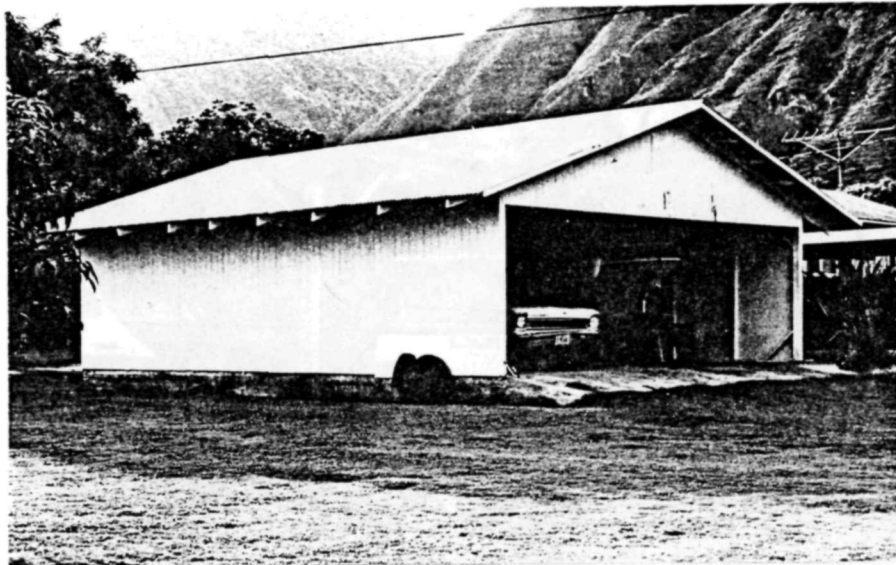
DESCRIPTION: The structure is a frame building of single wall construction, with a concrete foundation. The structure is actually four separate shed, each with a distinct roof, but all inter-connected. The main section has a gable roof covered with corrugated metal. The other shed roofs are covered with corrugated metal and rolled composition roofing material. The walls are horizontal and vertical plank siding, with sections of plywood sheets. The structure is in poor condition, and is in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 564

LOCATION: Kaliulani Street

USE: Garage

SIZE: Approx. 25 x 35

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a wood frame building of single wall construction, with a concrete slab foundation. The walls are covered with vertical plank siding. The gable roof is covered with corrugated metal. The structure seems to be in good condition, and is in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 565

LOCATION: Haleakala Street

USE: Garage and storage building

SIZE: Approx. 40 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building constructed on stone foot-
ings. The structure has five vehicle stall, and extra space for storage.
The low gable roof is covered with corrugated metal. The structure is in
very deteriorated condition, and is in use.

SIGNIFICANCE: None, but does house some of the artifacts which the resident
has collected around the peninsula.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 566

LOCATION: Haleakala Street

USE: Abandoned garage?

SIZE: 20 x 20?

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a shed roof. The roof is finished with corrugated metal. The structure is so overgrown, that it is hardly visible, and very inaccessible. Presumed to be in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 567

LOCATION: Kaiulani Street

USE: Abandoned garage

SIZE: Approx. 20 x 20? OWNERSHIP: Private

DATE OF STRUCTURE: Unknown (pre-1939?)

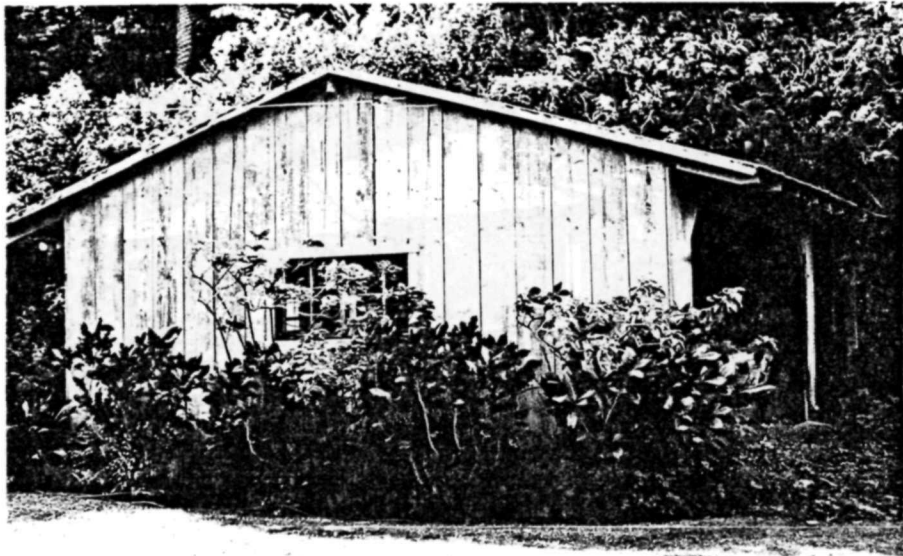
DESCRIPTION: The structure is a frame building of single wall construction.
The exterior is vertical plank siding. The gable roof is finished with
rolled composition roofing material. The structure is overgrown, and in
deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 568

LOCATION: Kaiulani Street

USE: Garage and storage building

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown (pre-1939?)

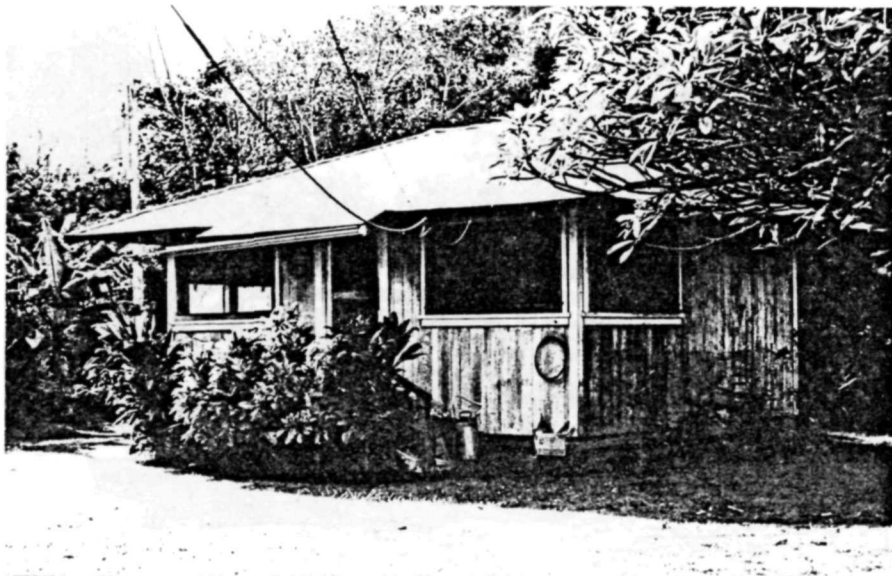
DESCRIPTION: The structure is a frame building of single wall construction. Walls are vertical plank siding. The gable roof is covered with corrugated metal. An addition, with a shed roof also covered with corrugated metal, is located on the south side of the structure. The building shows signs of rot and termites, but is in use and in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 569

LOCATION: Kaiulani Street

USE: Garden House

SIZE: Approx. 15 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.

The hip roof is finished with composition shingles. A small wood porch,
sheltered by an extension of the roof provides access to the front door.

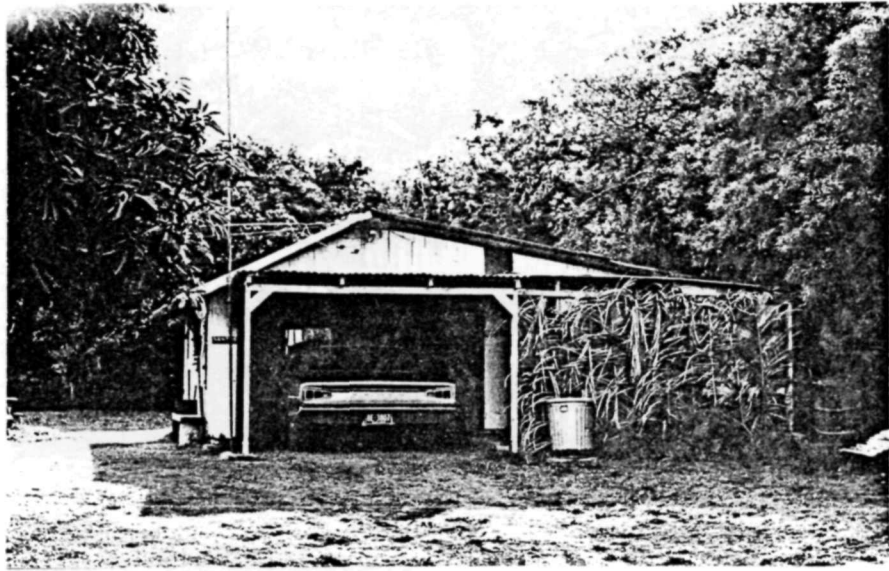
The structure shows signs of rot and termites, and is in fair to poor
condition.

SIGNIFICANCE: None - but was this a beach house at one time?

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 570

LOCATION: Kaiulani Street

USE: Garage and storage building

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown (pre-1939?)

DESCRIPTION: The structure is a frame building of single wall construction.

The foundation consists of concrete footings. The gable roof, and shed
roof extension are finished with a combination of rolled composition
roofing in material and corrugated metal. The structure is in fair to
poor condition, and still is in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 571

LOCATION: Kaiulani Street

USE: Garage and storage building

SIZE: 25 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

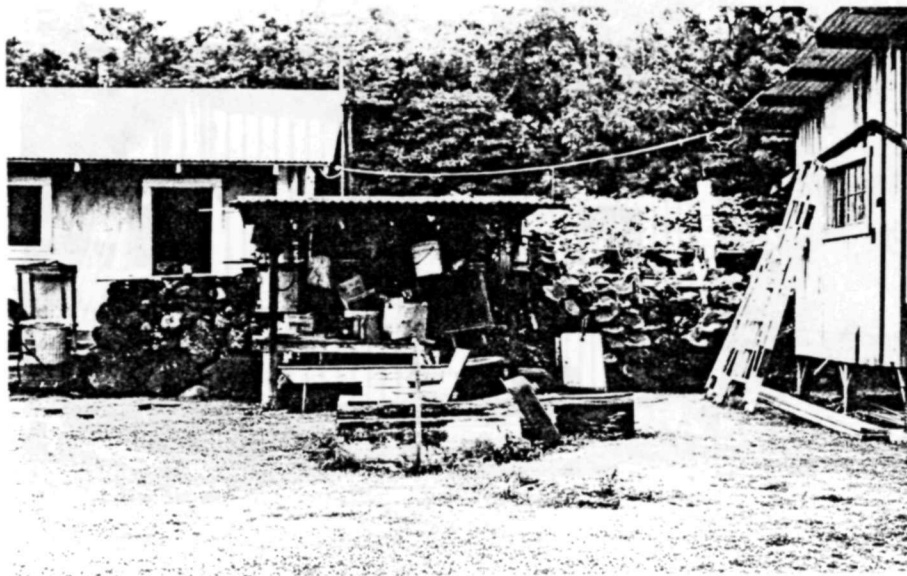
DESCRIPTION: The structure is a frame building of single wall construction. The gable and shed roof are covered with corrugated metal. The structure has a concrete foundation. The exterior is vertical plank siding. The structure is in use, and seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

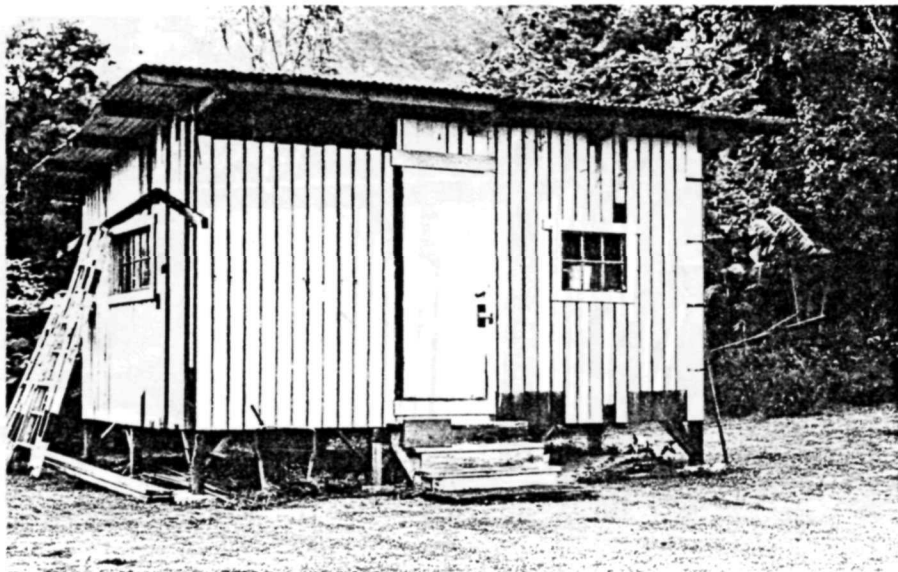
DATE OF REPORT: October 13, 1976



STRUCTURE: Building 572
LOCATION: Kaiulani Street
USE: Storage shed
SIZE: Approx. 8 x 10 OWNERSHIP: Private
DATE OF STRUCTURE: Unknown
DESCRIPTION: The structure is a wood frame which rests on concrete footings.
The shed roof is covered with corrugated metal. The structure is in use,
and seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate
FUTURE MAINTENANCE COST: No estimate
DATE OF REPORT: October 13, 1976



STRUCTURE: Building 573

LOCATION: Kaiulani Street

USE: Storehouse

SIZE: Approx. 12 x 18

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

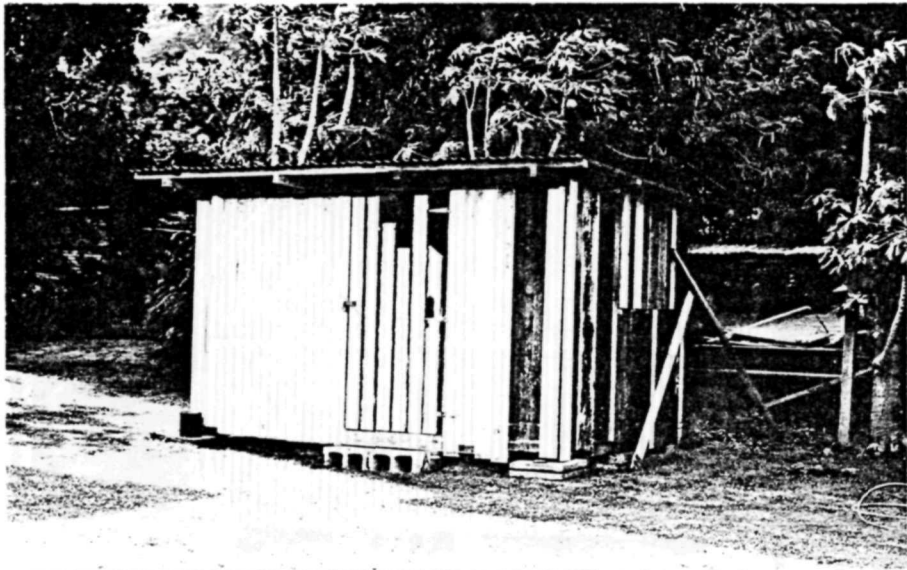
DESCRIPTION: The structure is a frame building of single wall construction,
with a concrete pad and post foundation. The walls are covered with vertical
plank siding, which seems to have been recycled from another structure. The
shed roof is covered with corrugated metal. The structure seems to be in
fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 574

LOCATION: Kaiulani Street

USE: Storage building

SIZE: Approx. 10 x 12

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

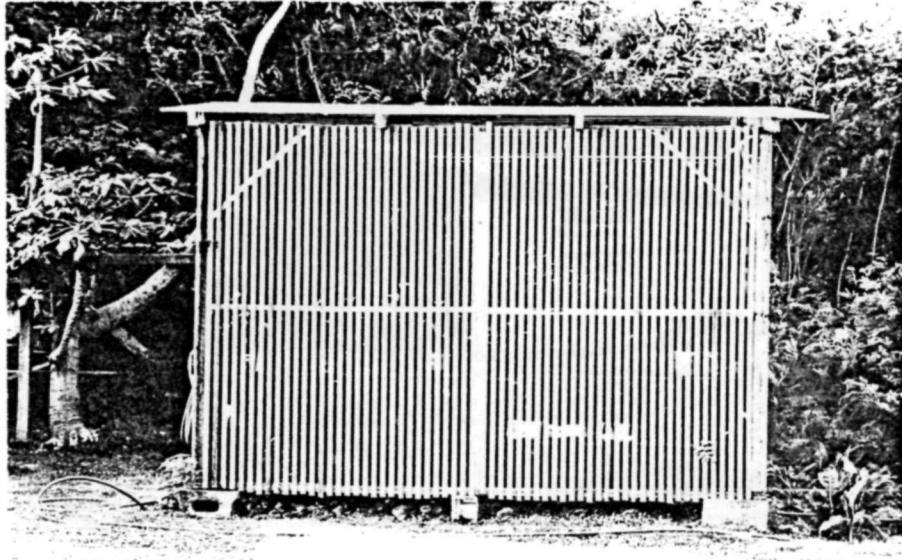
DESCRIPTION: The structure is a frame building of single wall construction, with a concrete pad and post foundation. The walls are covered with vertical plank siding. The shed roof is covered with corrugated metal. The structure seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 575

LOCATION: Kaiulani Street

USE: Hot house

SIZE: Approx. 8 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

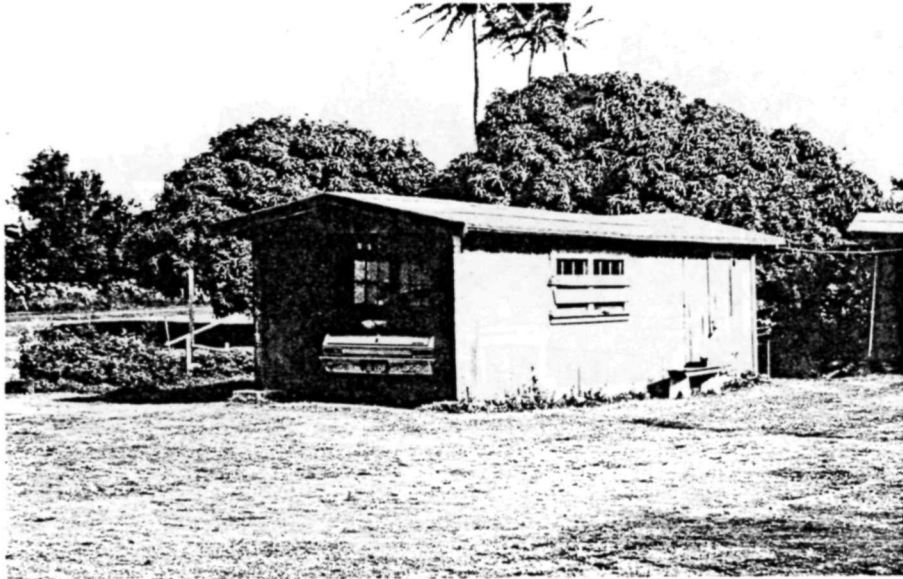
DESCRIPTION: The structure is a frame with walls and roof covered with lath-
size wood strips. The foundation consists of concrete footings. The
structure is in use, and seems to be in good condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 581

LOCATION: Corner Damien and Baldwin

USE: Garage and storage

SIZE: Approx. 12 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, built on a concrete foundation. The sagging gable roof is finished with rolled composition roofing material. The walls are vertical plank siding. The structure has termites and rot, and seems to be in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 582

LOCATION: Corner Damien and Baldwin

USE: Garage and storage building

SIZE: Approx. 15 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown (pre-1939?)

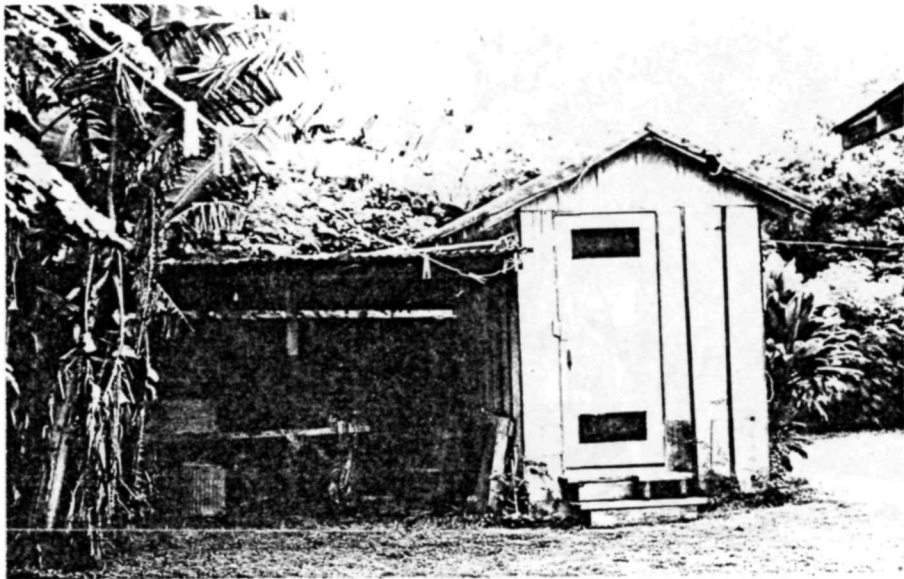
DESCRIPTION: The structure is a frame building of single wall construction. The walls are vertical plank siding which seems to have been recycled from another structure. The building is divided into two large vehicle stalls (without doors). The roof is finished with rolled composition roofing material. The wood frame structure is sagging, and in deteriorated condition. The structure is still in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 583

LOCATION: Corner Damien and Kaiulani

USE: Storage building

SIZE: Approx. 8 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior. The foundation consists of concrete blocks. A partially enclosed shed is located on one side of the structure. The gable roof is finished with rolled composition roofing, and the shed roof is covered with corrugated metal. The structure is in poor condition, and shows signs of rot and termite damage.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 584

LOCATION: Baldwin Street

USE: Garage and storage building

SIZE: Approx. 25 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction. The shed and gable roofs are finished with rolled composition roofing material and corrugated metal. The structure has had many additions, and seems to have been constructed of recycled material. The building is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 585

LOCATION: Baldwin Street

USE: Garages

SIZE: Approx. 20 x 50

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

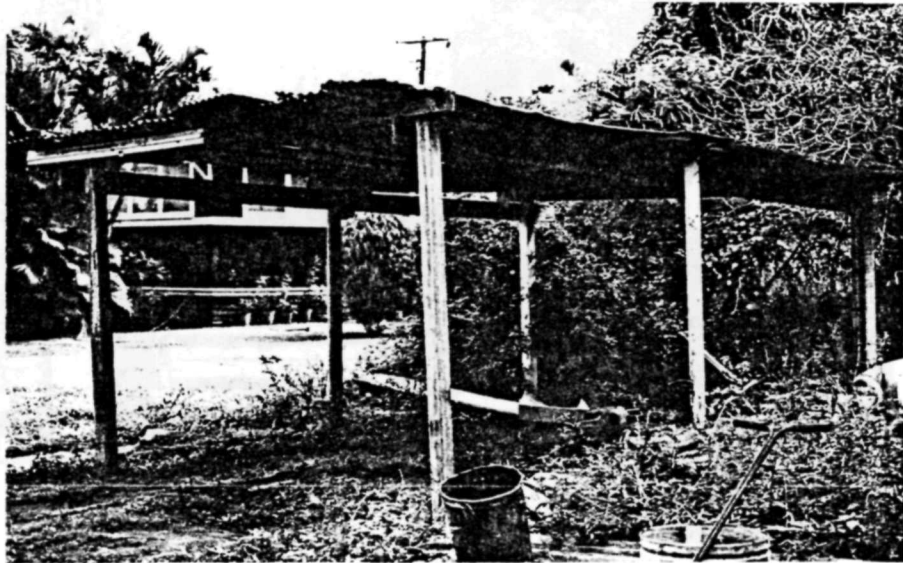
DESCRIPTION: The structure consists of three buildings joined together. All are of frame construction, with vertical plank or board and batten siding. The one gable and two shed roofs are finished with rolled composition roofing material. The structure shows signs of rot and deterioration. The structure is in use, and in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 586

LOCATION: Baldwin Street

USE: Carport

SIZE: Approx. 12 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

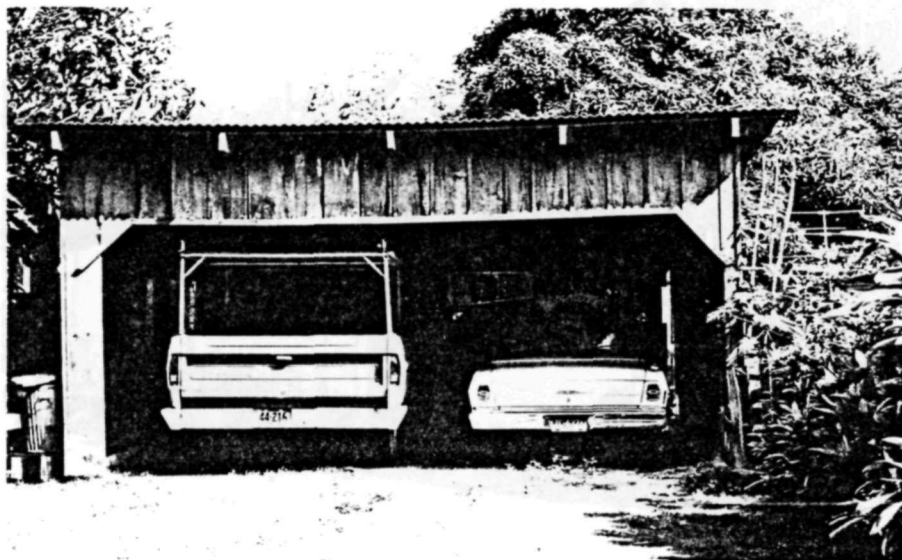
DESCRIPTION: The structure is a wood frame, with a corrugated metal roof.
The structure is used, but in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 587

LOCATION: Baldwin Street

USE: Garage

SIZE: Approx. 20 x 25

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

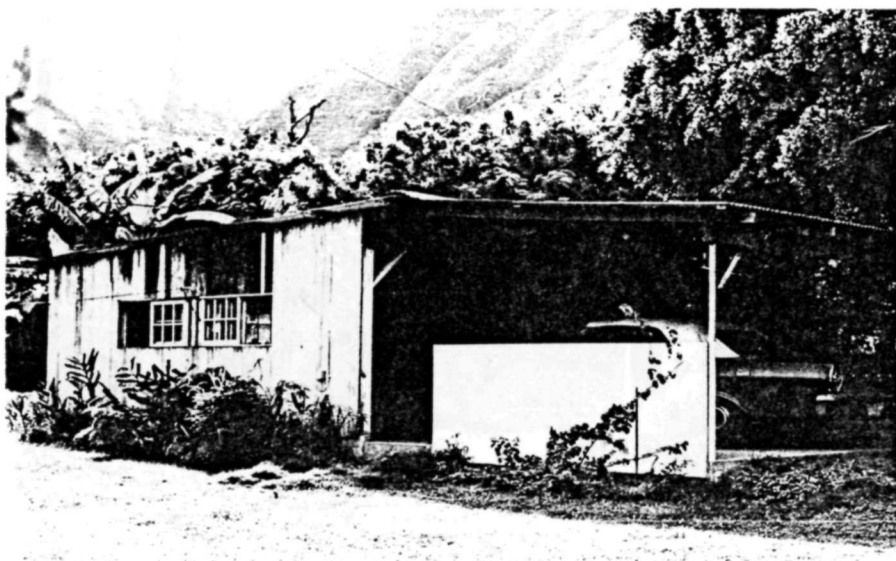
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish and concrete foundation. The shed roof is covered with corrugated metal. The structure is used to shelter two vehicles. The building is in fair to poor condition. Some settling is visible.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 588

LOCATION: Baldwin Street

USE: Garage

SIZE: Approx. 25 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

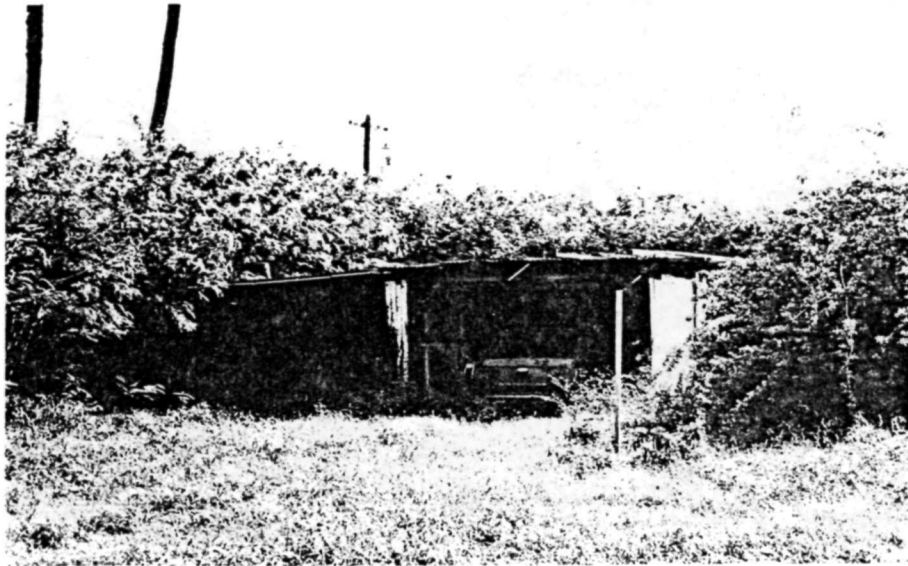
DESCRIPTION: The structure is a frame building (wood frame and metal pole),
with a concrete foundation. The very low gable roof is covered with corru-
gated metal. A shed has been added on to another side of the structure.
The structure is occupied, and in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 589

LOCATION: Baldwin Street

USE: Garage

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.
The shed roof is covered with corrugated metal. The building is divided
into stalls for two vehicles. The structure is used (vehicle storage),
but is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 590

LOCATION: McKinley Street

USE: Storage building

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.

The gable roof covered the main section of the structure. A shed has been attached to one side of the building. Both roofs are finished with corrugated metal. The structure is in use, and is in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 591

LOCATION: McKinley Street

USE: Storage building

SIZE: Approx. 20 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

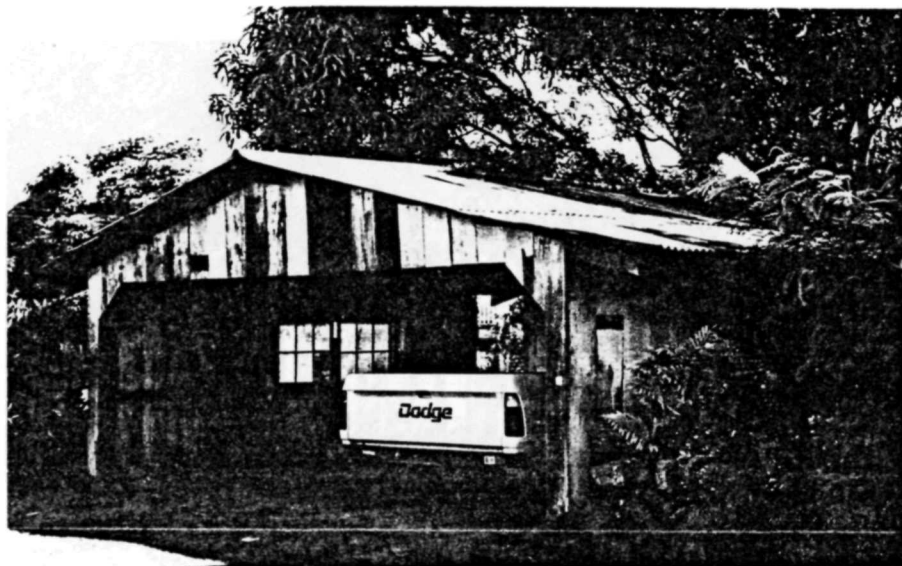
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The gable roof is finished with green composition shingles. The building has post and pad foundations. The structure is used, and is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 592

LOCATION: McKinley Street

USE: Garage

SIZE: Approx. 18 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a concrete foundation. The gable roof is covered with vertical plank siding. The building is used to shelter two vehicles. The structure is in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 593

LOCATION: Corner Haleakal and McKinley

USE: Garage, storage building

SIZE: Approx. 40 x 40 OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

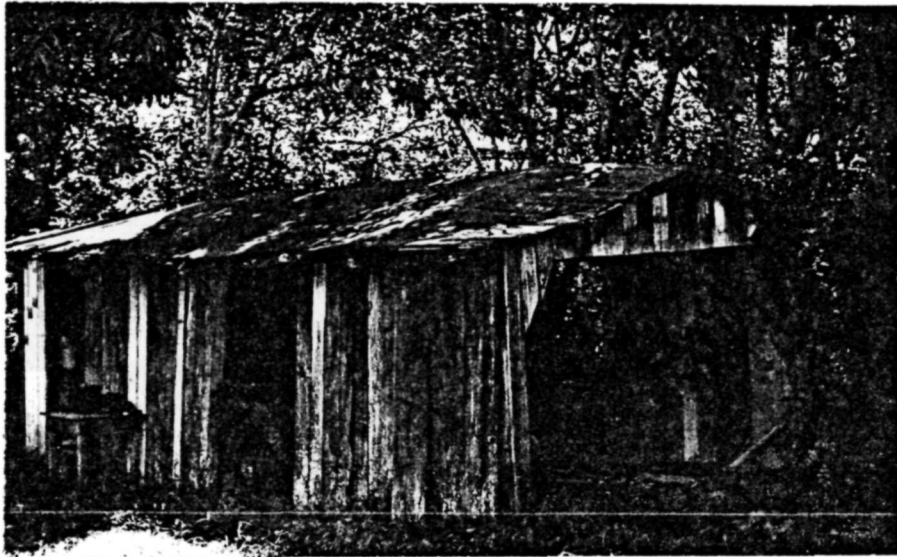
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. A carport with a shed roof is attached to the rear of the structure. The gable roof of the main building section, and the shed roof are covered with corrugated metal. The building is used, and is in fair condition. The structure seems to have been built of recycled materials.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 594

LOCATION: McKinley Street

USE: Garage

SIZE: Approx. 12 x 25 OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.

The foundation is concrete. The walls are covered with vertical plank siding. The gable roof which has become round and distorted due to structural failure, is finished with rolled composition roofing material and corrugated metal. The structure is in very deteriorated condition, and is being eaten away by rot and termites.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 595

LOCATION: McKinley Street

USE: Storage building (former wash house?)

SIZE: Approx. 12 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior. The foundation is a concrete slab. The gable roof, originally covered with wood shingles, is now finished with rolled composition roofing material. An addition with a shed roof was tacked on the rear of the building. The structure is in deteriorated condition, and is riddled with termites.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 596

LOCATION: Baldwin Street

USE: Nursery building (abandoned)

SIZE: Approx. 15 x 20

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a wood frame (open-sided) with a corrugated metal shed roof. Shelves for plants are located on the interior. The structure is very overgrown and in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 597

LOCATION: Baldwin Street

USE: Nusery Building (abandoned)

SIZE: Approx. 12 x 20 OWNERSHIP: State

DATE OF STRUCTURE: Unknown

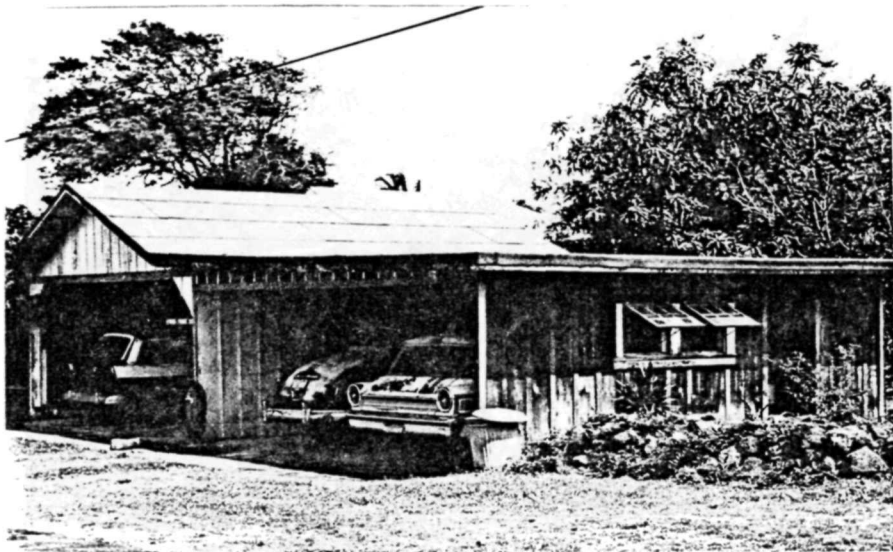
DESCRIPTION: The structure is a wood frame building, with a gable roof.
The structure is so overgrown that it is hard to see and even more, difficult to photograph.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 599

LOCATION: McKinley Street

USE: Garage

SIZE: Approx. 25 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

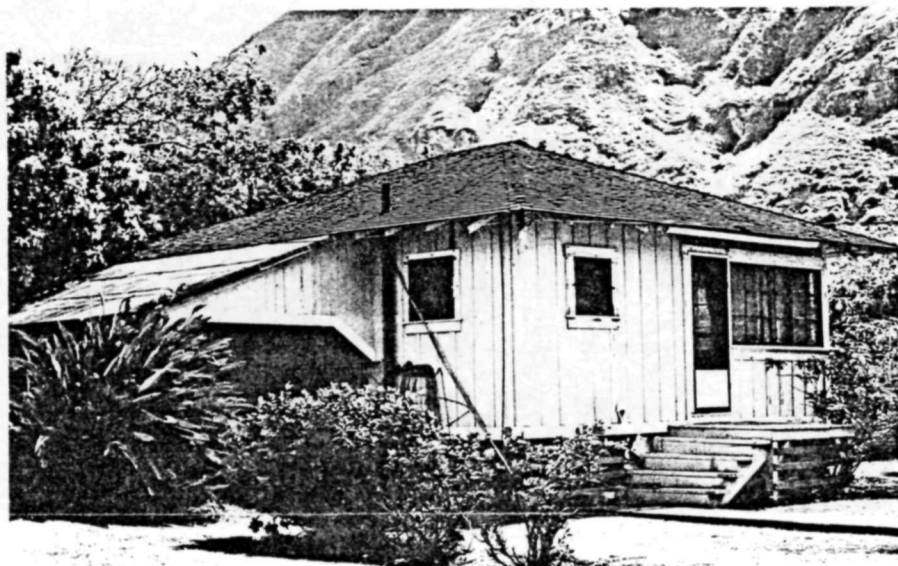
DESCRIPTION: The structure is a frame building of single wall construction. The foundation is concrete. The gable and shed roofs are finished with green rolled composition roofing material. The structures are well taken care of, and in fair to good condition, and although there are signs of the usual deterioration and termites. Exterior finish is board and batten.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 600

LOCATION: McKinley Street

USE: House (formerly a beach house, moved to this location)

SIZE: Approx. 30 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

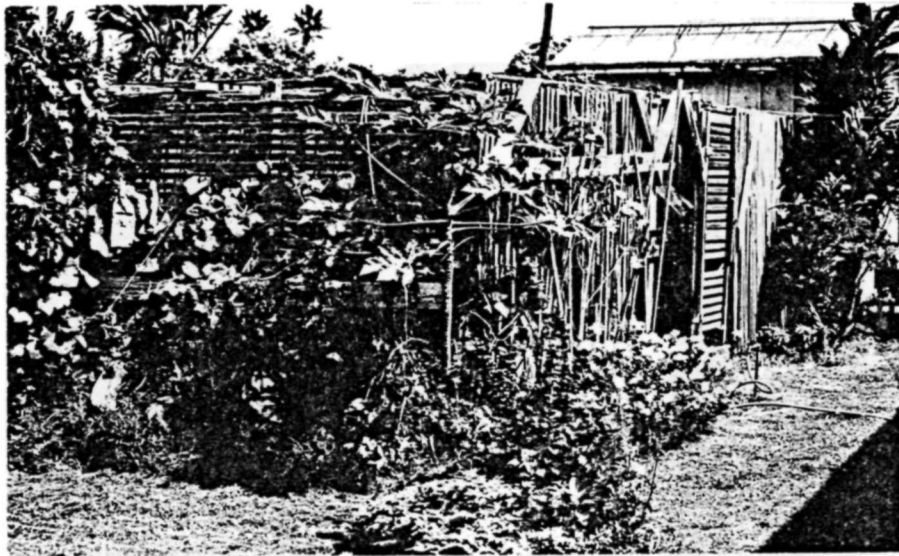
DESCRIPTION: The structure is a frame building of single wall construction, with a concrete pad and post foundation. The exterior finish is board and batten. The corners of the structure are finished with cornerboards, and the lower section of the house proper is edged with a water table. The hip roof is finished with wood shingles. A carport is constructed onto the north side of the building, and is sheltered by a shed roof which extends from the major portion of the hip roof. The shed roof is finished with rolled composition roofing material. The walls of the carport are covered with vertical plank siding. The structure is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 601

LOCATION: McKinley Street

USE: Hot House

SIZE: Approx. 10 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

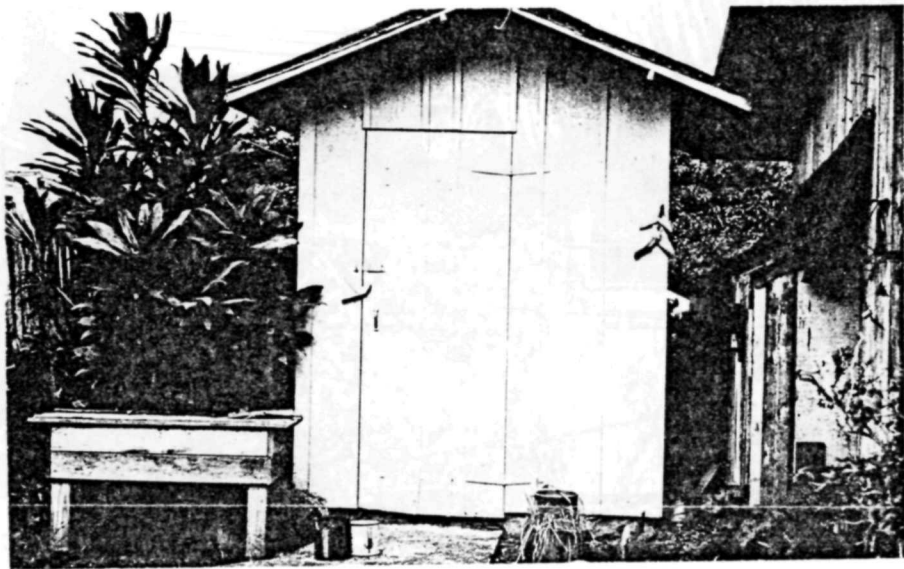
DESCRIPTION: The structure is a frame building with perforated walls and
roof of lath-size wood strips. The building is very deteriorated.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 602

LOCATION: McKinley Street

USE: Storage building

SIZE: Approx. 6 x 8

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown (contemporary with house?)

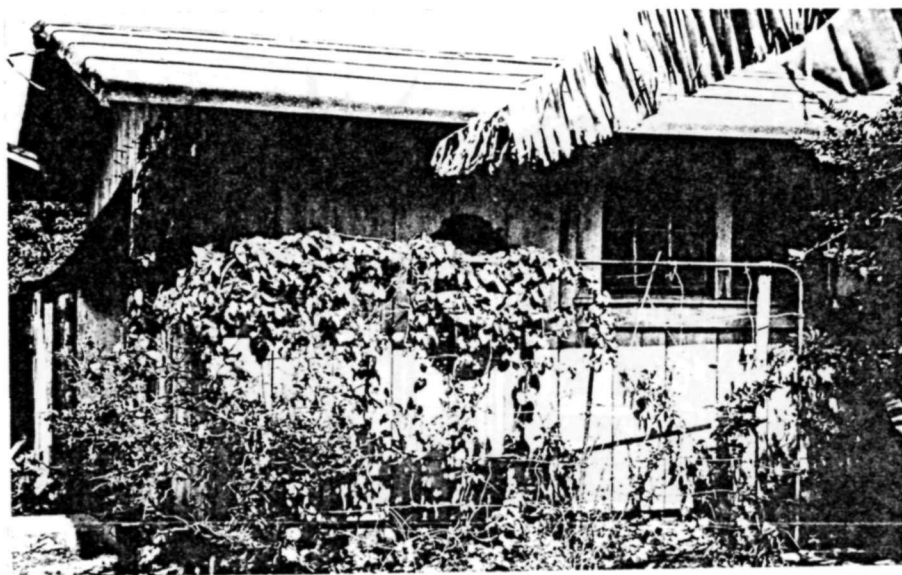
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The foundation is a concrete slab. The gable roof is finished with rolled composition roofing material. The structure seems to be in good condition, but does have termites.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 603

LOCATION: McKinley Street

USE: Garage

SIZE: Approx. 15 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

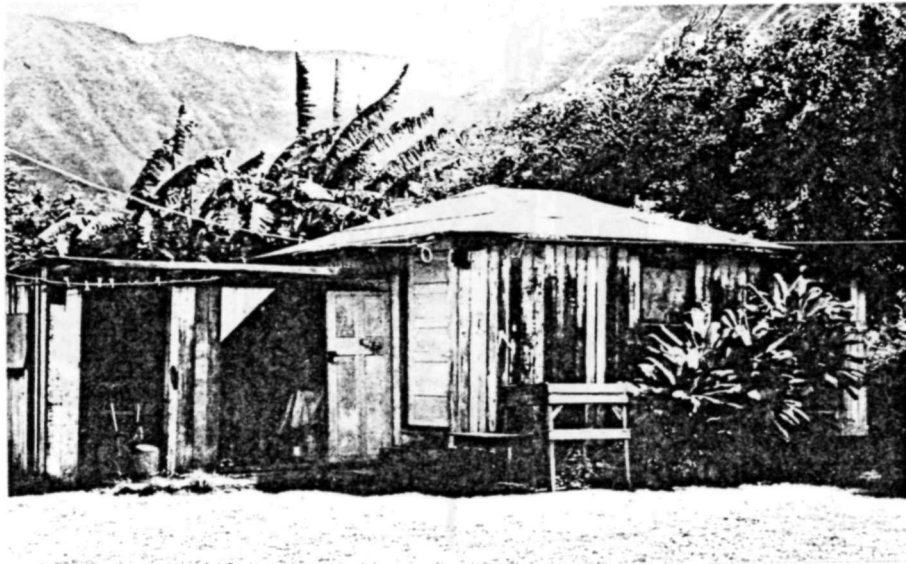
DESCRIPTION: The structure is a frame building of single wall construction. The walls are vertical plank siding. The structure has a concrete foundation. The gable roof is finished with rolled composition roofing material. The structure is used, and is in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 604

LOCATION: Goodhue Street

USE: Storage building

SIZE: Approx. 10 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

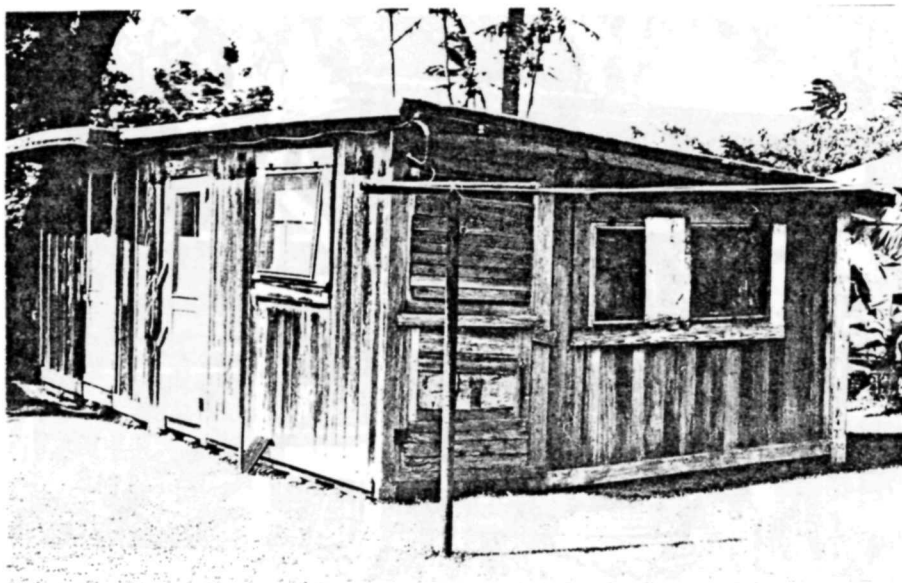
DESCRIPTION: The structure is a one-story building of single wall construction, with a solid concrete slab, and post and pad foundations. The hip and shed roofs are finished with rolled composition roofing. The exterior is vertical plank siding. The structure is in deteriorated condition, and seems to have been constructed of recycled materials.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1977



STRUCTURE: Building 605

LOCATION: Goodhue Street

USE: Storage building

SIZE: Approx. 15 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

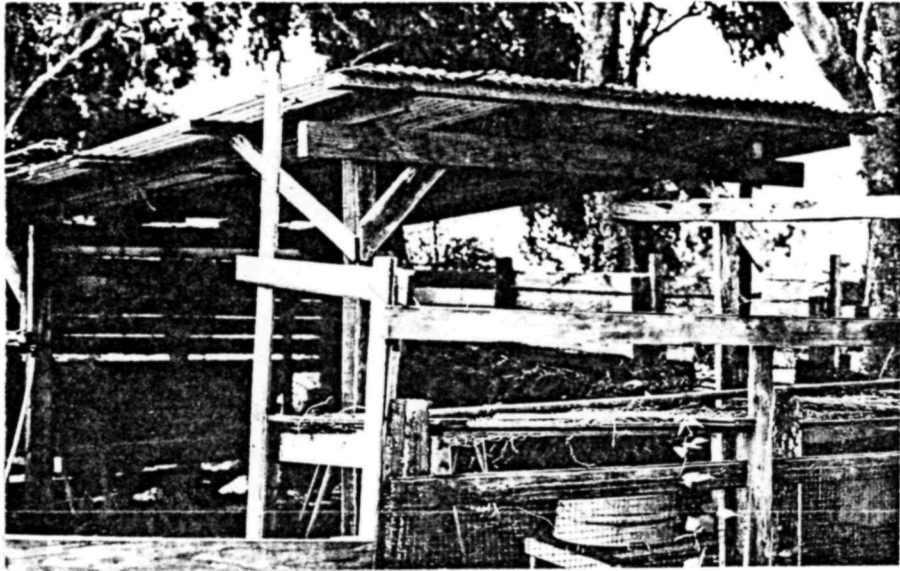
DESCRIPTION: The structure is a frame building of single wall construction. The foundation is stone. The shed roof is finished with rolled composition roofing material. The walls are board and batten and vertical plank siding. The structure is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 606

LOCATION: Goodhue Street

USE: Storage building

SIZE: Approx. 12 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame, with a shed roof. The roof is covered with corrugated metal. The foundation consists of a stone wall and concrete footings. The structure is in fair to poor condition, and is still in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976

STRUCTURE: Building 607

LOCATION: Goodhue Street

USE: Unknown

SIZE: OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

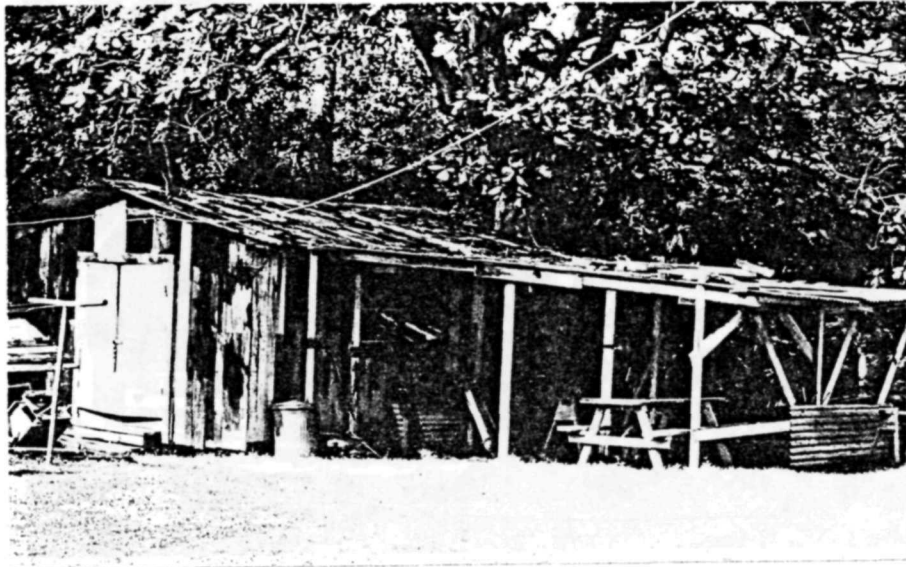
DESCRIPTION: The structure is a frame building on a stone foundation. The hip roof is finished with green composition shingles. The structure is in use, but is deteriorated due to rot and termites.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 608

LOCATION: Goodhue Street

USE: Storage and picnic shelter

SIZE: Approx. 15 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building with connecting gable and shed roofs. The gable section houses the building proper, and has walls covered with vertical plank siding. The shed roof section covers an open area used for storage. The foundations consist of stone footing. The roofs are finished with corrugated metal. The structure is deteriorated and in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 609

LOCATION: Goodhue Street

USE: Garage and shelter

SIZE: Approx. 24 x 24

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a concrete slab foundation. The gable roof is covered with corrugated metal. The west side of the structure is open. The walls are vertical plank siding. The structure is in use, and seems to be in good condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 610

LOCATION: Goodhue Street, across from 114

USE: Former residence (beach house?)

SIZE: Approx. 20 x 30 NOT KNOWN OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

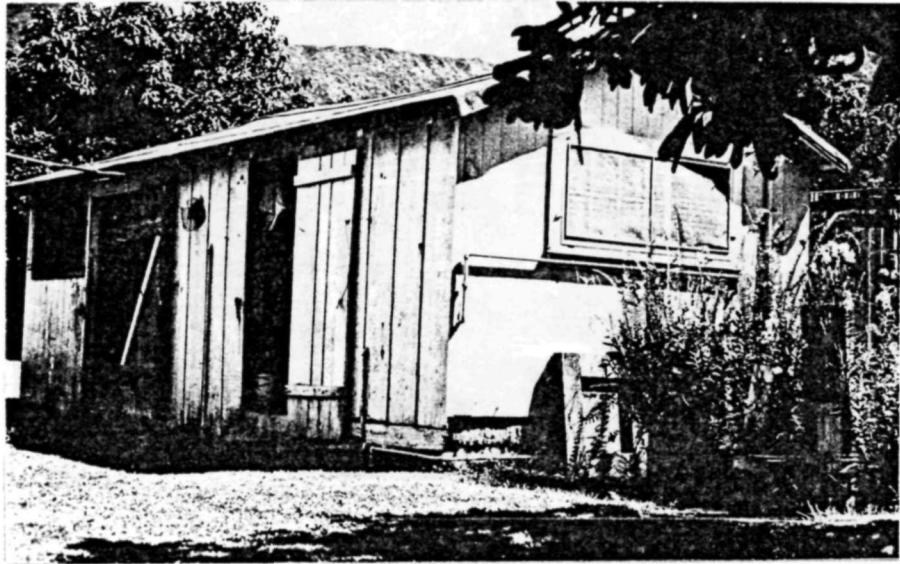
DESCRIPTION: The structure is a frame building of single wall construction, with an exterior finish of board and batten. The hip roof is finished with rolled composition roofing material. A recessed porch is incorporated under the southwest corner of the hip roof. The structure is very overgrown with koa, and has serious termite and rot problems. The building seems to be in poor condition. The structure's foundation consists of pads and posts.

SIGNIFICANCE: None. Isaac Keao stated that this house was moved from a location "two blocks past the Lions' Pavilion on the way to the airport."

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 611

LOCATION: Goodhue Street

USE: Storage building and hot house

SIZE: 12 x 20 + 20 x 20 hot house OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

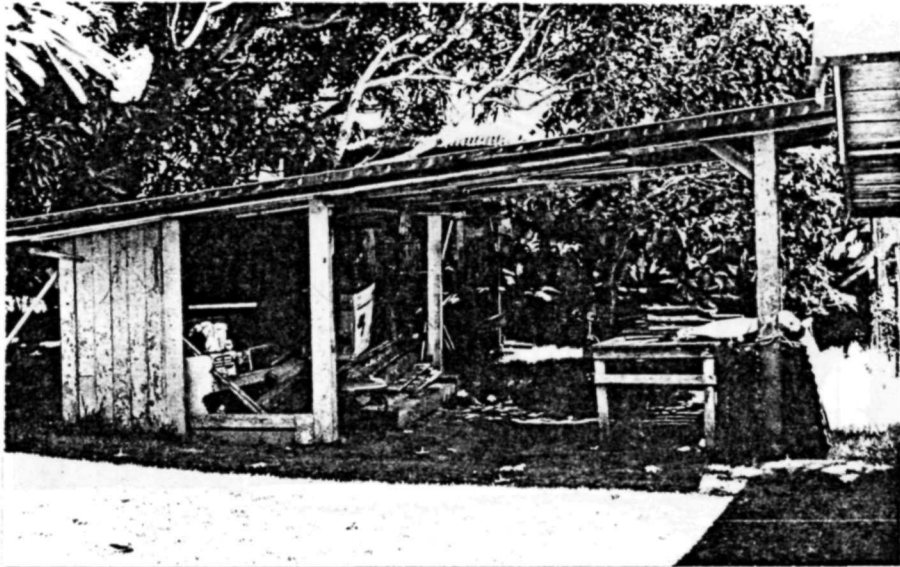
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten and vertical plank exterior finish. A frame hot house, with perforated walls and roof covered with lath-sized wood strips, is located at the rear of the building. The main building section has a concrete slab foundation. The gable roof of the structure is finished with rolled composition roofing material. The structure seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 612

LOCATION: Goodhue Street

USE: Storage building

SIZE: Approx. 20 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

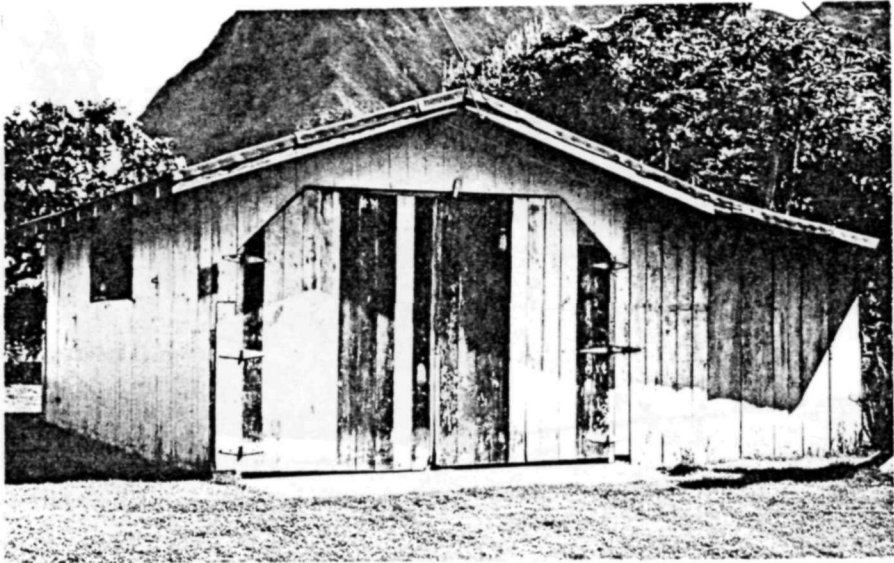
DESCRIPTION: The structure is a frame building, with one wall enclosed with vertical plank siding. The shed roof is finished with green rolled composition roofing material. The structure is in use, and in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 613

LOCATION: Goodhue Street

USE: Garage and storage building

SIZE: Approx. 18 x 24

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

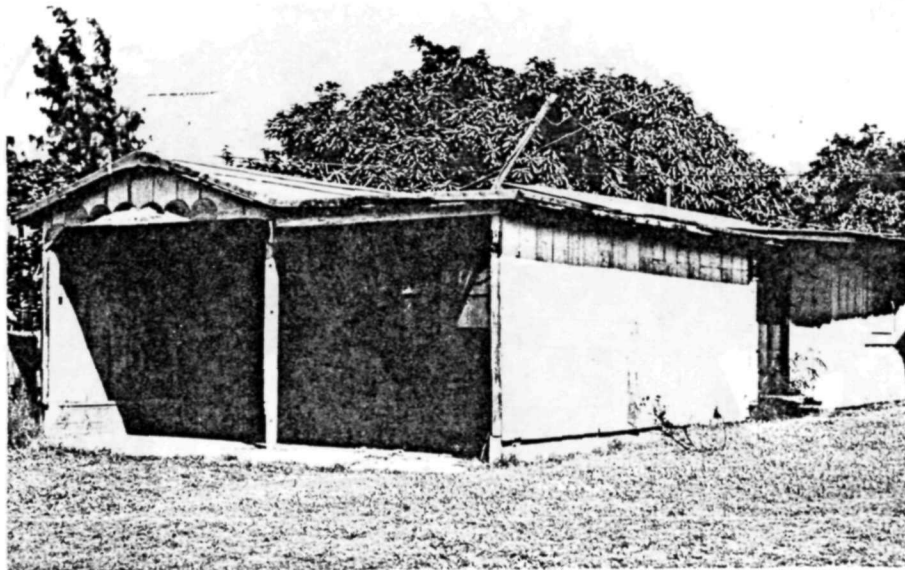
DESCRIPTION: The structure is a frame building of single wall construction, with a partial concrete foundation. The connecting gable and shed roof are finished with green rolled composition roofing material. The structure shows signs of deterioration. The building is in use, and in fair condition. The structure seems to have been built of recycled materials.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 614

LOCATION: Corner Goodhue and School

USE: Garage

SIZE: Approx. 25 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

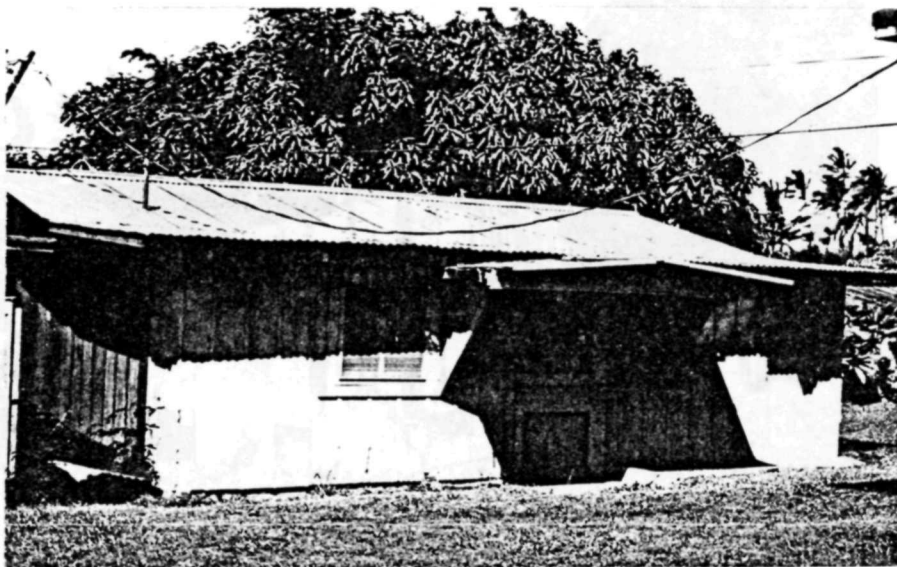
DESCRIPTION: The structure is a frame building of single wall construction, with a concrete slab foundation. The walls are covered with vertical plank and board and batten siding. Above one of the garage stalls are scallops (cf. Bishop Home buildings). The connecting gable and shed roofs are finished with rolled composition roofing material. The structure shows signs of rot and termites, and is in fair condition. The building is still in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 615

LOCATION: Goodhue Street

USE: Storage

SIZE: Approx. 25 x 28

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

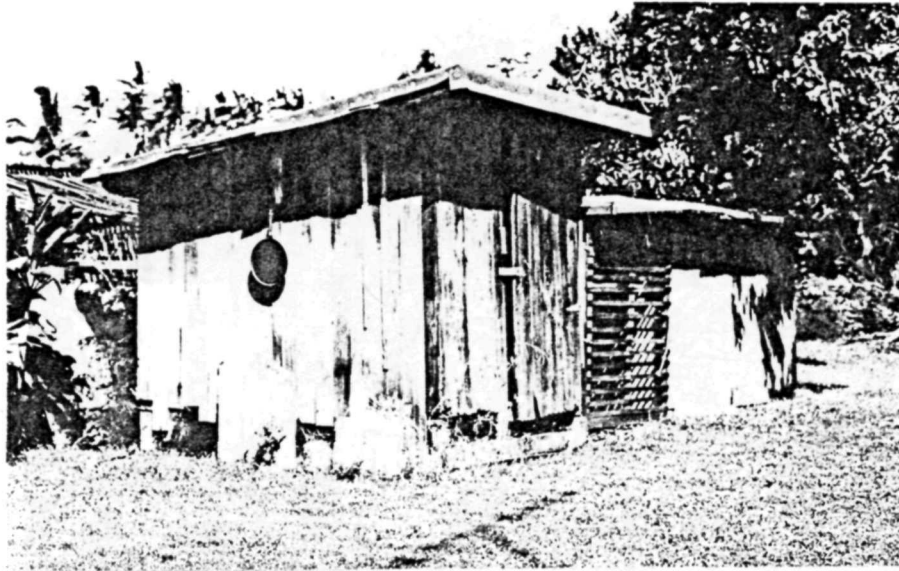
DESCRIPTION: The structure is a frame building of single wall construction,
with a board and batten exterior finish. The foundation is concrete.
The connecting gable and shed roofs are covered with corrugated metal.
The structure shows signs of some wood deterioration. The building is
used, and seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 616

LOCATION: Goodhue and School Streets

USE: Storage, hothouse

SIZE: Approx. 10 x 25

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

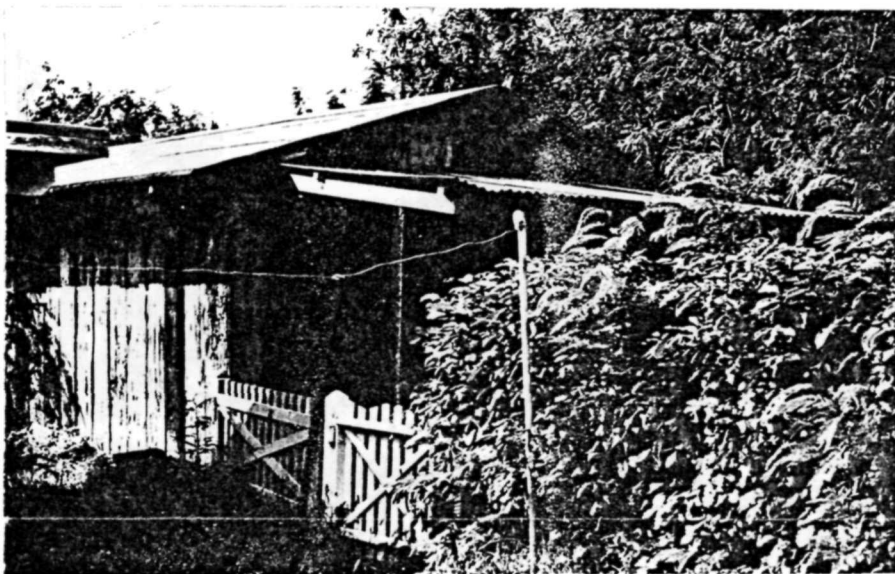
DESCRIPTION: The structure is actually a group of sheds which have been connected. All the shed roofs are finished with rolled composition roofing material. The two end structures have walls covered with vertical plank siding. The central portion is walled with spaced wood strips. The structure is in poor condition, and is still in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 620

LOCATION: McKinley Street

USE: Garage

SIZE: Approx. 18 x 30 OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

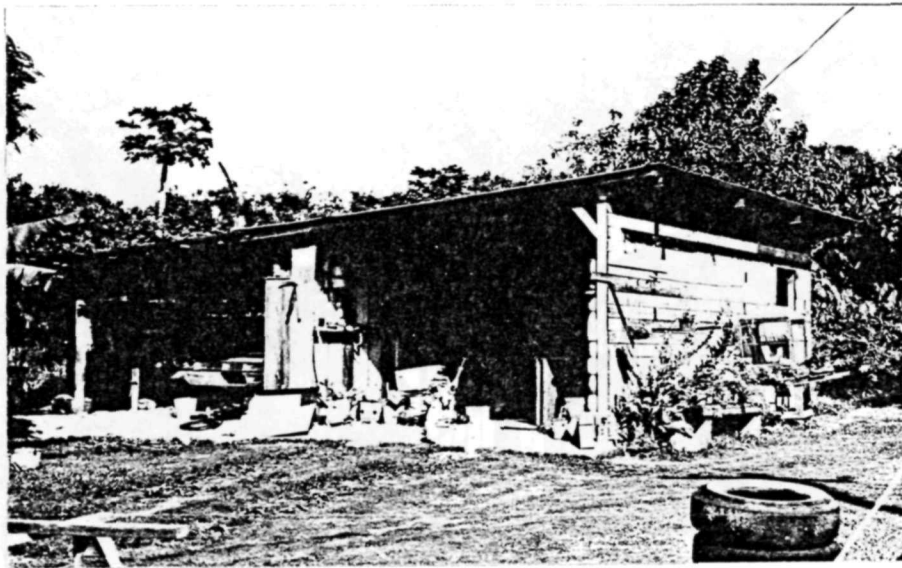
DESCRIPTION: The structure is a frame building of single wall construction.
The gable roof is finished with rolled composition roofing material. A
shed with a corrugated metal roof has been attached to the front of the
structure. The structure is in use, and in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 621

LOCATION: Bishop Street

USE: Garage

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

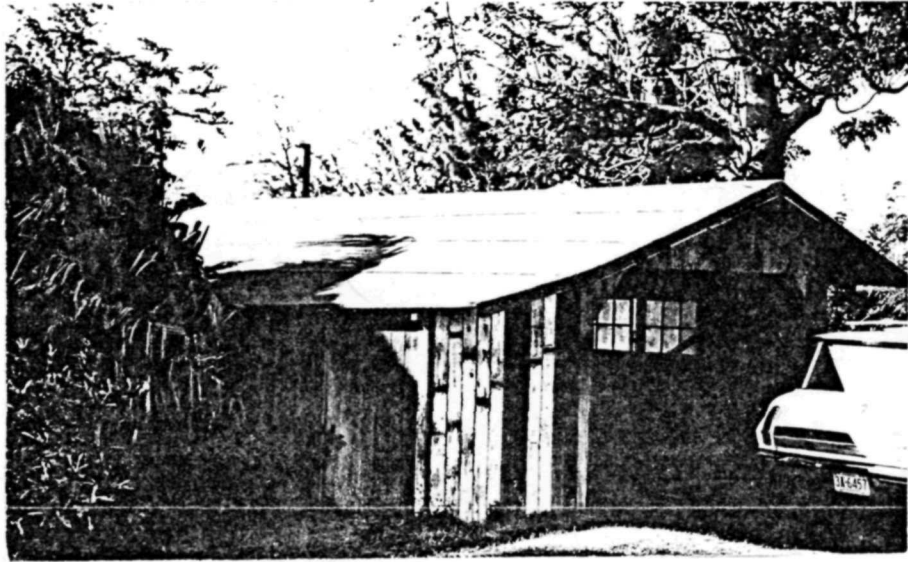
DESCRIPTION: The structure is a frame building of single wall construction, with a concrete slab foundation. The shed roof is finished with corrugated metal. The horizontal plank siding of the structure seems to have been recycled from other buildings. The structure is used, and is in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 622

LOCATION: Bishop Street

USE: Garage and storage building

SIZE: Approx. 20 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.

The exterior vertical plank walls are probably recycled material from another structure. The gable roof is finished with rolled composition roofing material. The structure is still in use, and is in fair condition.

SIGNIFICANCE: None

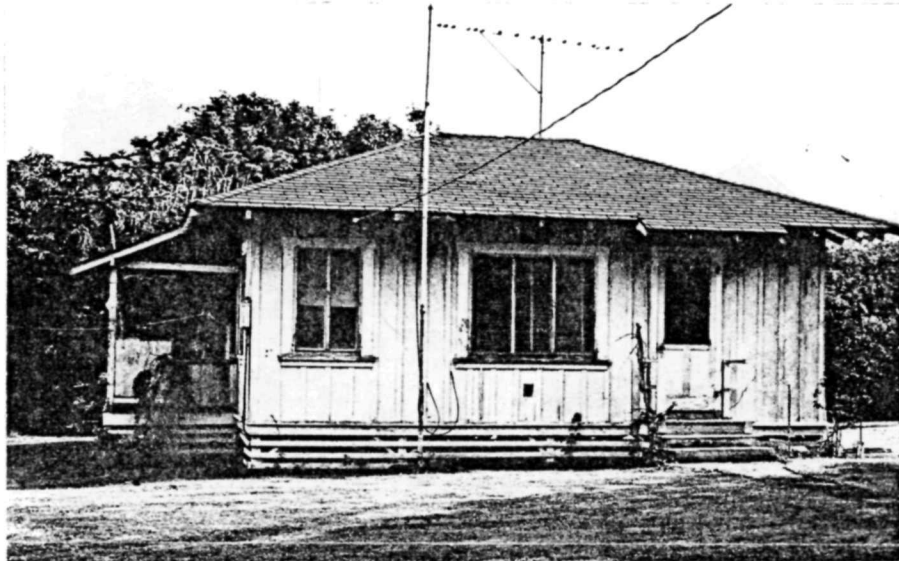
MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976

RESIDENTIAL AREA

(State-Owned Structures)



STRUCTURE: Building 161

LOCATION: Damien Road, north side

USE: Residence

SIZE: Approx. 1100 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1936

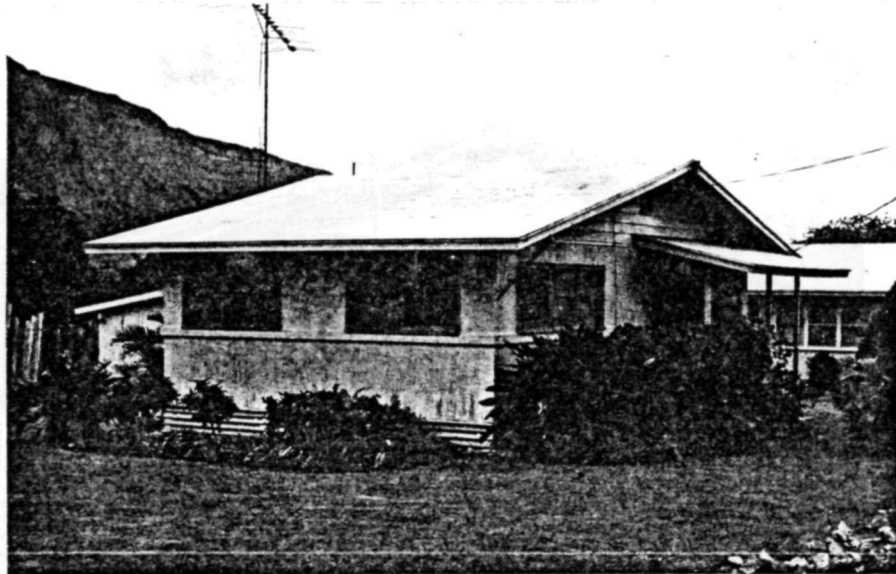
DESCRIPTION: The structure is a one-story building of single wall construction, with a board and batten exterior finish. The foundation is made up of concrete pads and posts. The hip roof is finished with green composition shingles. A small wood porch, sheltered by an extension of the hip roof provides access to the front door. Two other partially enclosed porches, also sheltered by roofs, are located in the north and northwest section of the house. The structure is occupied and in poor condition. Termite damage should be repaired. The structure should be painted, re-roofed and fumigated.

SIGNIFICANCE: _____

MAINTENANCE COST: \$5,900

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 56-112

LOCATION: Damien Road, south side

USE: Residence

SIZE: Approx. 1200 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1956

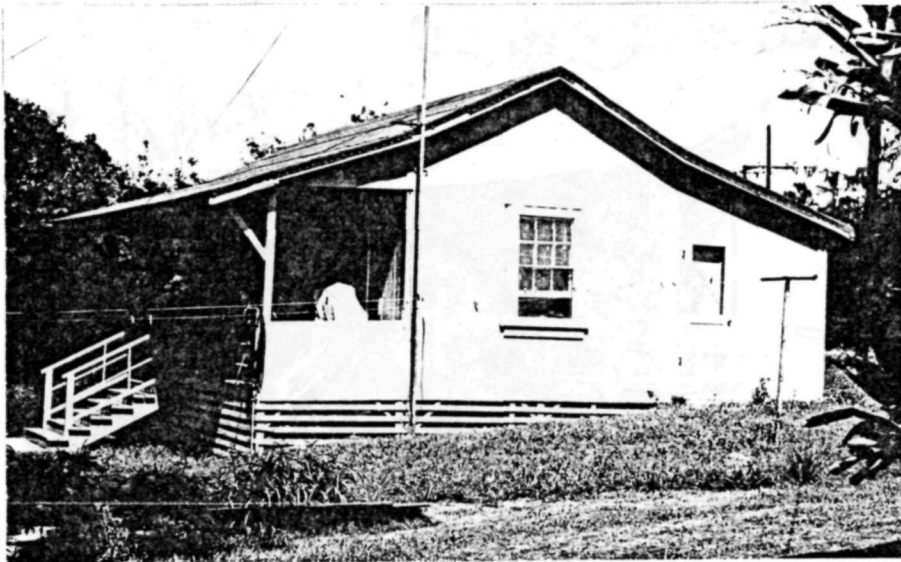
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The gable roof is finished with metal roofing. A small wood porch with a shed roof provides access to the front entrance to the dwelling. The wood frames of the two-sash double hung windows project several inches from the exterior walls. A continuous girt surrounds most of the structure, except at the west corner, where it is broken by the front door and a series of windows. A carport with a concrete slab foundation is located at the rear of the structure (southwest corner). The building is occupied, and in good condition. The structure should be fumigated.

SIGNIFICANCE: Hicks home. No significance.

MAINTENANCE COST: \$1000

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 114

LOCATION: Goodhue Street

USE: Residence

SIZE: 30 x 28

OWNERSHIP: State

DATE OF STRUCTURE: 1931

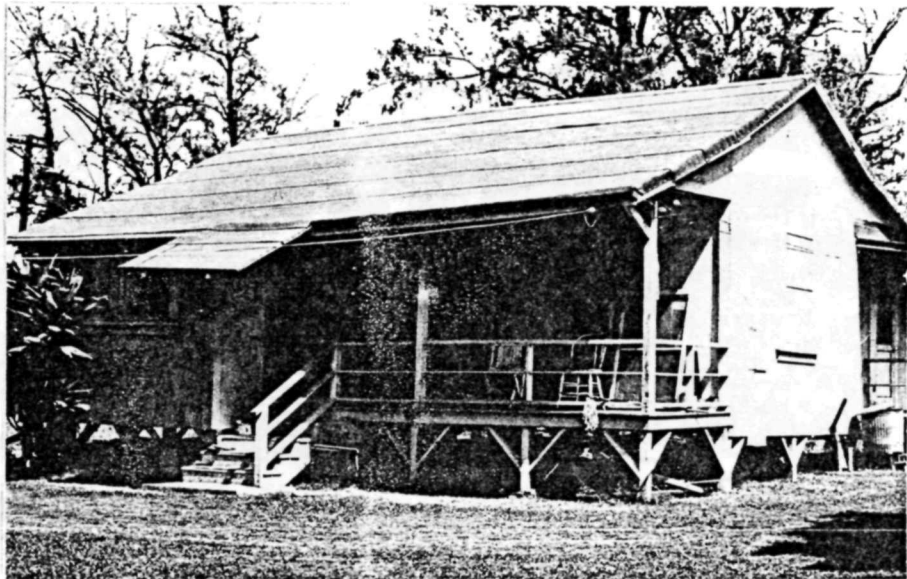
DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. The gable roof extends into shed roofs at the front and rear of the house. The roof is finished with rolled composition roofing material. A veranda runs the entire length of the building on the west side of the structure. The exterior finish is simply vertical plank siding. Wood steps and railings led up to the veranda. A skirting of horizontal wood strips surrounds the foundations. The structure is occupied, and seems to be in fair condition. The building should be fumigated, and termite damage repaired. Roofing should be removed and replaced. Grade should be cleared.

SIGNIFICANCE: The structure is very similar to the types of residences existing at Kalaupapa prior to 1900. The above date, taken from the Maintenance files is very possibly incorrect.

MAINTENANCE COST: \$5100

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 115
LOCATION: Goodhue Street
USE: Residence
SIZE: Approx. 1000 sq. ft. OWNERSHIP: State
DATE OF STRUCTURE: 1931
DESCRIPTION: The structure is a one-story building of single wall construction. The exterior finish is board and batten and verticle plank siding, with corner boards at the corness. The gable roof is finished with green rolled composition roofing material. The wood frame windows are double hung (twelve light). A recessed porch is incorporated under the roof is sagging. The structure is occupied and in fair to poor condition. The building should be painted. Termite damage should be replaced. The structure should be re-roofed with the original roofing material (shingles?). The building should be fumigated.

SIGNIFICANCE: The structure is very similar to the types of residences existing at Kalaupapa prior to 1900. The above date, taken from the maintenance file could incorrect.

MAINTENANCE COST: \$7,600
FUTURE MAINTENANCE COST: \$500/annum
DATE OF REPORT: January 13, 1977

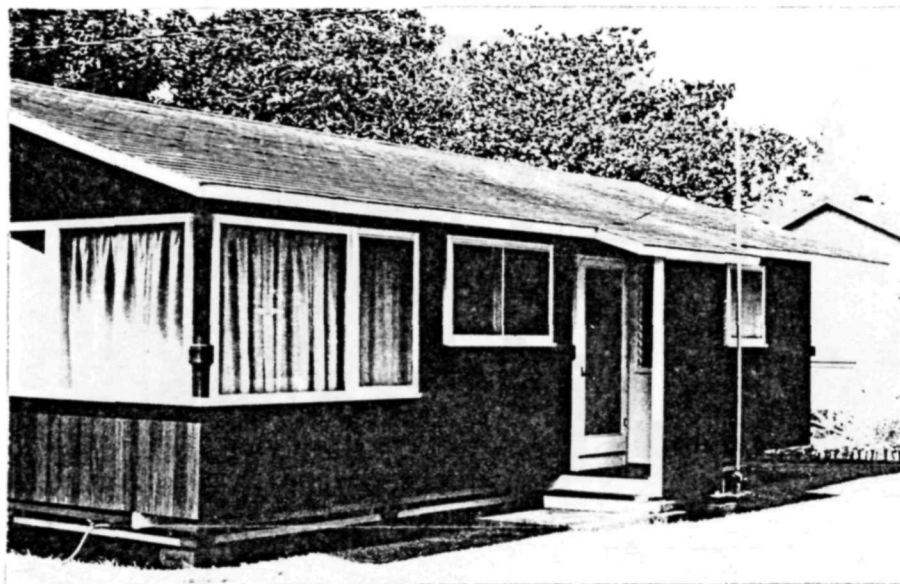


STRUCTURE: Building 116
LOCATION: Goodhue Street
USE: Residence
SIZE: Approx. 34 x 26 OWNERSHIP: State
DATE OF STRUCTURE: 1931

DESCRIPTION: The structure is a one-story building of single wall construction, with a pad and post foundation. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. One chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with corner boards. A girt encircles the structure and is broken by the wood frames of the double-hung windows which project several inches from the exterior of the vertical plank wall. The hip roof is finished with composition shingles. A wood porch is located at the rear of the structure. The building is occupied and in good condition. The structure was recently painted. Fumigation is recommended. Termite damage should be repaired. The masonry of the front steps is in need of minor repointing.

SIGNIFICANCE: One of many

MAINTENANCE COST: \$1500
FUTURE MAINTENANCE COST: \$500
DATE OF REPORT: January 13, 1977



STRUCTURE: Building 62-117

LOCATION: Goodhue Street

USE: Residence

SIZE: 880 house, 460 carport + OWNERSHIP: State

DATE OF STRUCTURE: 1962

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. A small wood porch, sheltered by an extension of the gable roof, provides access to the front door. The gable roof is finished with composition shingles. The wood frames of the jalousie windows project several inches from the exterior walls. A continuous girt surrounds most of the exterior of the structure. The girt is broken at the south east corner by two-sash windows, divided vertically. A carport with a shed roof and a concrete slab foundation is located at the southwest corner of the structure. The structure is occupied and seems to be in good condition. The eaves should be painted, to protect them from weather and termites, and the structure should be fumigated.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$950

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 118

LOCATION: Goodhue Street

USE: Residence

SIZE: 1000 sq. ft., incl porch OWNERSHIP: State

DATE OF STRUCTURE: 1931 (?)

DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. The building has a saltbox roof, with another extension at the front of the structure which shelters the recessed veranda. The veranda, which runs the length of the front of the building still has some of the original details - chamfered posts, jigsaw work, diamond-patterned railing. The exterior finish is vertical plank. The structure is in deteriorated condition, but should be preserved because it is occupied, and because it is an example of a type. The building should be fumigated. Termite damage (floor, footings, walls, siding) should be repaired. The building should be re-roofed with original material, and the structure should be painted.

SIGNIFICANCE: A fairly preservable example of a type of architecture which is fast dying out in the islands (and Kalaupapa).

MAINTENANCE COST: \$8700

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 6OR-119

LOCATION: School Street

USE: Residence

SIZE: Approx. 1050 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1937 (according to files)

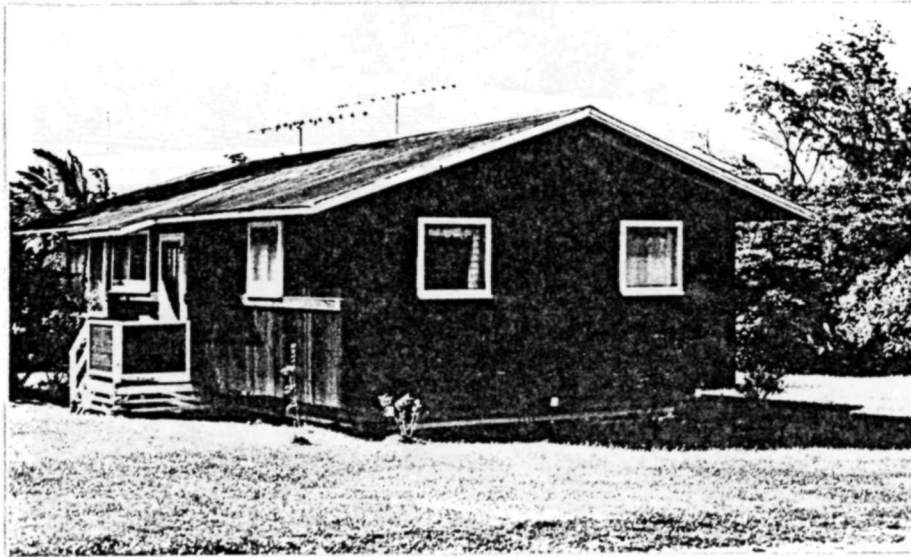
DESCRIPTION: The structure is a one-story building of single wall construction with a concrete pad and post foundation. A recessed porch is located under the southwest corner of the gable (with gablet) roof. The roof is finished with rolled composition roofing paper. At the rear of the irregularly shaped structure (northeast corner) is a washing area with a concrete slab foundation. The structure is in poor condition. The building is in need of re-roofing, board replacement, fumigation and painting.

SIGNIFICANCE: Unusual, for a residence. Similar to Wilcox Memorial building at the Visitor's Quarters. Another type of Hawaiian vernacular found at Kalaupapa.

MAINTENANCE COST: \$8700

FUTURE MAINTENANCE COST: \$600/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 62-120

LOCATION: School Street

USE: Residence

SIZE: Approx. 38 x 22 + carport OWNERSHIP: State

DATE OF STRUCTURE: 1962

DESCRIPTION: The structure is a one-story building of single wall construction with a concrete pad and post foundation. The pads and wood posts are separated by termite shields. A small wood porch, sheltered by an extension of the gable roof, provides access to the front door. The gable roof is finished with composition shingles. The wood frames of the jalousie windows project several inches from the exterior walls. A continuous girt encircles most of the exterior of the structure. The girt is broken at the southwest corner of the structure by two-two-sash windows, divided vertically. A carport with a shed roof and a concrete slab foundation is located at the northwest corner of the structure. The building is occupied and in fair to good condition. Some wood damaged by water (plumbing leak) and by termites should be replaced. The structure should be fumigated and painted.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$2900

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 64-121

LOCATION: Bishop Street

USE: Residence

SIZE: Approx. 22 x 38 + carport OWNERSHIP: State

DATE OF STRUCTURE: 1964

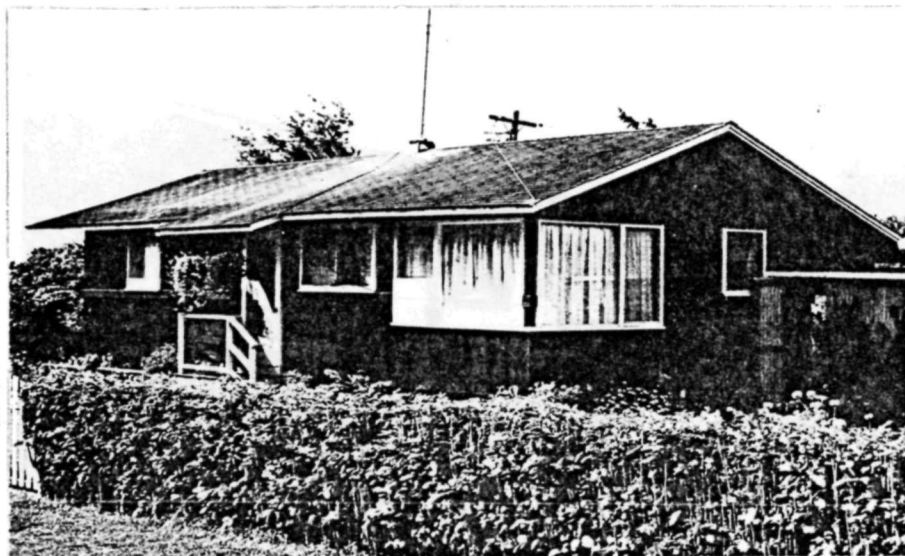
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The gable roof is finished with composition shingles. A small wooden front porch provides access to the front door. The wood frames of the jalousie windows project several inches from the exterior wall. A fixed sash picture window is also located at the front of the structure. A broken girt encircles the exterior of the structure. A carport, with a shed roof and concrete slab foundation protrudes from the east side of the structure. The building is occupied and in good condition. The structure should be routinely fumigated for termites.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$500

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 62-122

LOCATION: School Street

USE: Residence

SIZE: Approx. 38 x 22 + carport OWNERSHIP: State

DATE OF STRUCTURE: 1962

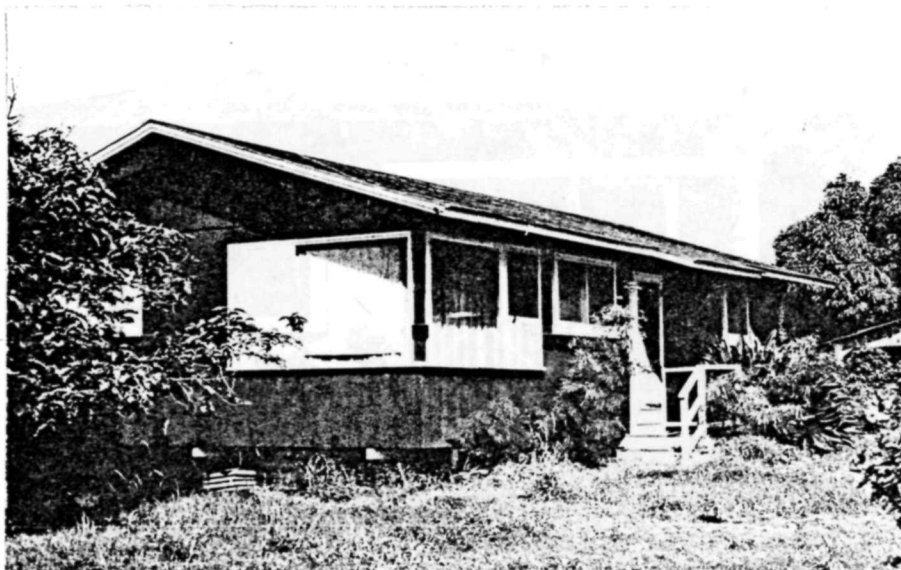
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The pads and wood posts are separated by termite shields. A small wood porch, sheltered by an extension of the gable roof, provides access to the front door. The gable roof is finished with composition shingles. The wood frames of the jalousie windows project several inches from the exterior walls. A continuous girt encircles most of the exterior of the structure. The girt is broken at the southeast corner of the structure by two two-sash windows, divided vertically. A carport with a flat roof and a concrete slab foundation is located at the northeast corner of the structure. The building seems to be in very good condition, but should undergo termite fumigation.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$1400

FUTURE MAINTENANCE COST: \$500

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 62-123

LOCATION: McKinley Street

USE: Residence

SIZE: Approx. 1100 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1962

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. A small wood porch, sheltered by an extension of the gable roof, provides access to the front door. The gable roof is finished with composition shingles. The wood frames of the jalousie windows project several inches from the exterior walls. A continuous girt encircles most of the exterior of the structure. The girt is broken at the south corner by two two-sash windows, divided vertically. A carport with a shed roof and a concrete slab foundation is located at the northwest corner of the structure. The structure was vacant for a period of time, but is now being rehabilitated for occupancy. The building should be routinely fumigated for termites.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$500

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 151

LOCATION: McKinley Street

USE: Residence

SIZE: Approx. 1000 square feet OWNERSHIP: State

DATE OF STRUCTURE: 1937

DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. One chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with corner boards. A girt encircles the structure, and is broken by the wood frames of the double-hung windows which project several inches from the exterior of the verticle plank wall. The hip roof is finished with composition shingles. A partially enclosed washhouse, with a shed roof is located at the rear of the rectangular structure. The building is occupied and in fair condition. Termite damage should be repaired. The structure should be fumigated and painted.

SIGNIFICANCE: The resident stated that this building was constructed with lumber from the Leprosy Investigation Station at Kalawao. She believed that Isaac Keao's house and Mr. Kupele's house were also constructed of that lumber.

MAINTENANCE COST: \$3500

FUTURE MAINTENANCE COST: \$500

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 152

LOCATION: McKinley Street

USE: Residence

SIZE: Approx. 1000 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1938

DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. One chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. A girt encircles the structure, and is broken by the wood frames of the double-hung windows which project several inches from the exterior of the vertical plank wall. The hip roof is finished with composition shingles. The wash house, attached to the rear of the structure, and built on a concrete slab, has been screened in. Refurbishing work on this structure is underway. The structure is not occupied presently.

SIGNIFICANCE: One of many.

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$500

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 56-153

LOCATION: McKinley Street

USE: Residence

SIZE: Carport + 22 x 36

OWNERSHIP: State

DATE OF STRUCTURE: 1956

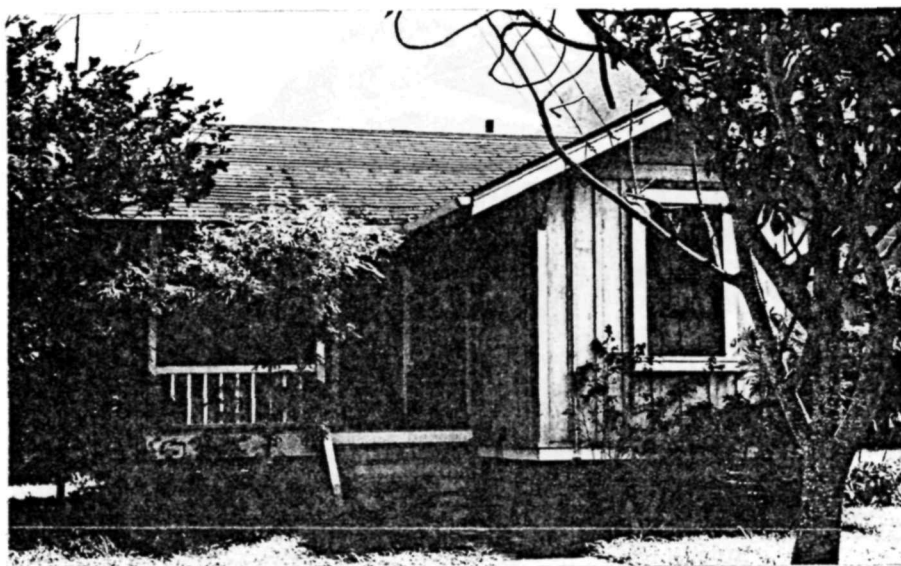
DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. Termite shields are located between the pads and wood posts. The gable roof is finished with metal roofing. A small wood porch with a shed roof provides access to the front entrance to the dwelling. The wood frames of the two-sash double hung windows project several inches from the exterior walls. A continuous girt surrounds most of the structure, except at the northwest corner, where it is broken by the front door and a series of windows. A carport with a concrete slab foundation and a shed roof is located at the rear (east) of the structure. The building is occupied and in fair to poor condition. Termite and other damage to the wood should be repaired. The structure should be fumigated, and painted (including roof). Vegetation should be cleared away from the base, to discourage further termite damage and rot.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$5100

FUTURE MAINTENANCE COST: \$500

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 154

LOCATION: McKinley Street

USE: Residence

SIZE: Approx. 600 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1933

DESCRIPTION: The structure is a one-story building of single wall construction. The exterior finish is board and batten. The irregularly-shaped building has intersecting gable roofs finished with composition shingles. A water table encircles the base of the structure proper. The wood frames of the double hung twelve-light windows project several inches from the exterior wall. A recessed porch is located under the main gable. The building is in poor condition. The structure should be fumigated for termites, and all termite damage repaired. Rot and termites have destroyed major sections of the front porch, railing and steps. This damage should be repaired. The structure should be re-roofed and painted. A partially enclosed wash house, constructed on a concrete slab, is located at the rear of the structure.

SIGNIFICANCE: No Known.

MAINTENANCE COST: \$5500

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 13, 1977



STRUCTURE: Building 155

LOCATION: McKinley Street

USE: Residence

SIZE: 850 sq. ft. inc. wash house OWNERSHIP: State

DATE OF STRUCTURE: 1930

DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. One chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. A girt encircles the structure, and is broken by the wood frames of the double-hung windows which project several inches from the exterior of the vertical plank wall. The hip roof is finished with composition shingles. A partially enclosed wash house, with a concrete foundation and a shed roof is located at the rear of the rectangular structure. The building is occupied and in fair condition. The foundations should be stabilized, and termite damage should be repaired. The building should be fumigated.

SIGNIFICANCE: One of many

MAINTENANCE COST: \$3800

FUTURE MAINTENANCE COST: \$500 /annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 155 A

LOCATION: McKinley Street

USE: Tool shed

SIZE: Approx. 8 x 10

OWNERSHIP: State

DATE OF STRUCTURE: 1930?

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The gable roof is finished with rolled composition roofing. The foundation is concrete. The pivoting windows are six light, wood sash. The structure seems to be in good condition.

SIGNIFICANCE: None, other than being an example of a washhouse constructed by the State in conjunction with the 1930's dwellings.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1977



STRUCTURE: Building 56-156

LOCATION: McKinley Street

USE: Residence

SIZE: 22 x 36 + carport

OWNERSHIP: State

DATE OF STRUCTURE: 1956

DESCRIPTION: The structure is a one-story building of single wall construction with a concrete pad and post foundation. Termite shields are located between the pads and wood posts. The gable roof is finished with metal roofing. A small wood porch, with a shed roof provides access to the front entrance to the dwelling. The wood frames of the two-sash double hung windows project several inches from the exterior walls. A continuous girt surrounds most of the structure, except at the west side, where it is broken by the front door and a series of windows. A carport with a concrete slab foundation and a shed roof, and several other sheds of wood frame, plywood and corrugated metal, are located at the rear of the structure. The structure is in good condition, and is occupied. The roof should be painted, and the structure fumigated.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$1300

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 157

LOCATION: McKinley Street

USE: Residence

SIZE: Approx. 900 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1932

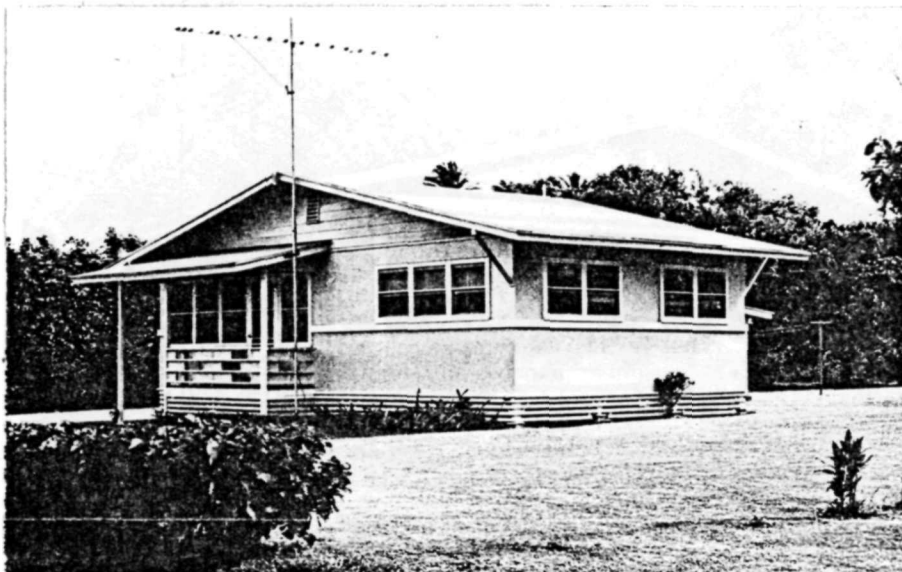
DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. One chamfered post and two pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. A girt encircles the structure, and is broken by the wood frames of the double-hung windows which project several inches from the exterior of the vertical plank walls. The building is occupied and in fair condition. Termite damage should be repaired. The structure should be painted and fumigated.

SIGNIFICANCE: One of many

MAINTENANCE COST: \$2650

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 56-172

LOCATION: Baldwin Street

USE: Residence

SIZE: 22 x 36 + carport OWNERSHIP: State

DATE OF STRUCTURE: 1956

DESCRIPTION: The structure is a one-story building of single wall construction with a concrete pad and post foundation. The gable roof is finished with metal roofing. A small wood porch with a shed roof provides access to the front entrance to the dwelling. The wood frames of the two-sash double hung windows project several inches from the exterior walls. A continuous girt surrounds most of the structure, except at the northwest corner, where it is broken by the front door and a series of windows. A carport with a concrete slab foundation and a flat roof is located at the rear (east) of the structure. The building is occupied and in good condition. Fumigation is recommended.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 56-173

LOCATION: Baldwin Street

USE: Residence

SIZE: 22 x 36 + carport OWNERSHIP: State

DATE OF STRUCTURE: 1956

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The gable roof is finished with metal roofing. A small wood porch with a shed roof provides access to the front entrance to the dwelling. The wood frames of the two-sash, double hung window project several inches from the exterior walls. A continuous girt surrounds most of the structure, except at the northwest corner where it is broken by the front door and a series of windows. A carport with a concrete slab foundation and a shed roof is located at the rear (east) of the structure. The building is occupied and in good condition. Fumigation is recommended.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 176

LOCATION: Baldwin Street

USE: Residence

SIZE: Approx. 600 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction with a stone pad and post foundation. The intersecting gabled roofs are finished with rolled composition roofing which has been applied over wood shingles. The exterior wall is simply vertical plank siding. A recessed porch, with a diamond-patterned railing is located at the front (northwest) of the structure. The building is occupied and in very deteriorated condition. To save the structure, termite-damaged wood must be replaced. All vegetation surrounding the structure should be cleared out.

SIGNIFICANCE: Further research into history is needed. The current resident stated that kokua occupied the building before he moved in 46 years ago. He stated that he has trouble keeping it up.

MAINTENANCE COST: \$21,600

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 56-178

LOCATION: Baldwin Street

USE: Residence

SIZE: 22 x 36 + carport OWNERSHIP: State

DATE OF STRUCTURE: 1956

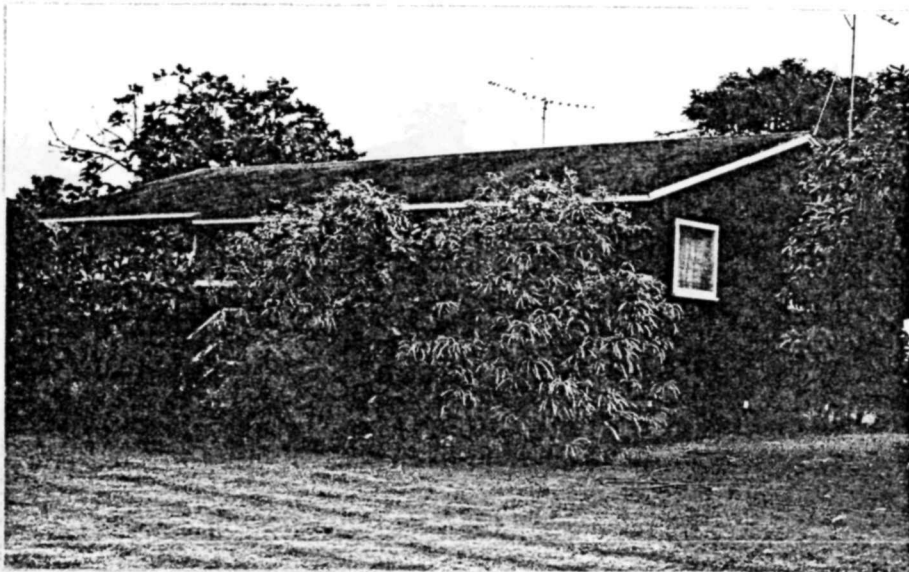
DESCRIPTION: The structure is a one-story building of single wall construction with a concrete pad and post foundation. Termite shields are located between the pads and wood posts. The gable roof is finished with metal roofing. A small wood porch, with a shed roof, provides access to the front entrance to the dwelling. The wood frames of the two-sash double hung windows project several inches from the exterior walls. A continuous girt surrounds most of the structure, except at the northwest corner, where it is broken by the front door and a series of windows. A carport with a concrete slab foundation and a shed roof is located at the rear (east) of the structure. The building is occupied and in good condition. Painting and fumigation are recommended.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$1,840

FUTURE MAINTENANCE COST: \$450/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 62-179

LOCATION: Baldwin Street

USE: Residence

SIZE: Approx. 1100 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1962

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. Termite shields are located between the pads and wood posts. A small wood porch, sheltered by an extension of the gable roof, provides access to the front door. The gable roof is finished with composition shingles. The wood frames of the jalousie windows project from the exterior walls. A continuous girt encircles most of the exterior of the structure. The girt is broken at the northwest corner by 2 two-sash jalousie and fixed windows, divided vertically. A carport with a shed roof and a concrete slab foundation is located at the northeast corner of the structure. The building is occupied and is in good condition. Termite damage (steps) should be repaired and the building should be painted and fumigated.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$1,900

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 181

LOCATION: Baldwin Street

USE: Residence

SIZE: Approx. 1000 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932

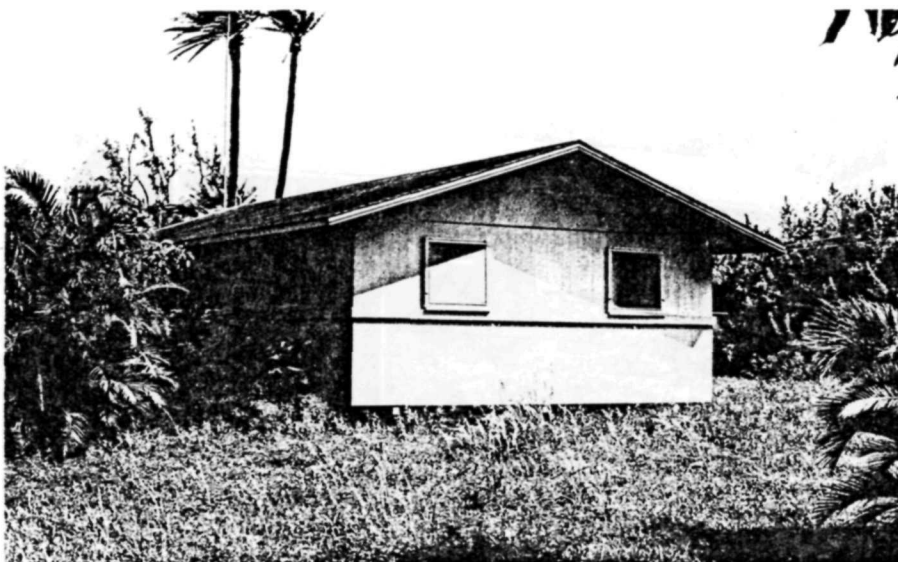
DESCRIPTION: The structure is a one-story building of single wall construction with a stone pad and post foundation. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. One simple post (replaced?) and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. A girt encircles the structure and is broken by the wood frames of the double hung windows which project several inches from the exterior of the vertical plank wall. A partially enclosed wash house, with a concrete foundation and a shed roof is located at the rear of the rectangular structure. The building is occupied and in fair condition. Termite damage should be repaired. The structure should be re-roofed, painted, and fumigated.

SIGNIFICANCE: One of many.

MAINTENANCE COST: \$8,220

FUTURE MAINTENANCE COST: \$500

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 62-182

LOCATION: Baldwin Street

USE: Residence

SIZE: Approx. 1100 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1962

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. A small wood porch, sheltered by an extension of the gable roof, provides access to the front door. The gable roof is finished with composition shingles. The wood frames of the jalousie windows project from the exterior walls. A continuous girt encircles most of the exterior of the structure. The girt is broken at the northwest corner by two two-sash jalousie and fixed windows, divided vertically. A carport with a shed roof and a concrete slab foundation is located at the northeast corner of the structure. The building is occupied in name only and is in fair condition. Termite damaged wood should be repaired. Vegetation should be cleared from the base of the structure. The building should be painted and fumigated.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$2,700

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 64-186

LOCATION: Kaiulani Street

USE: Residence

SIZE: Approx. 1200 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1964

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. Termite shields are located between the concrete pads and wood posts. The gable roof is finished with composition shingles. A small wooden front porch provides access to the front door. The wood frames of the jalousie windows project several inches from the exterior wall. A fixed sash picture window is also located at the front of the structure. A broken girt encircles the exterior of the structure. A carport, with a flat roof and concrete slab foundation protrudes from the northwest side of the structure. The building is occupied and in good condition. Fumigation is recommended.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 64-187

LOCATION: Kaiulani Street

USE: Residence

SIZE: Approx. 1200 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1964

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. Termite shields are located between the concrete pads and wood posts. The gable roof is finished with composition shingles. A small wooden front porch provides access to the front door. The wood frames of the jalousie windows project several inches from the exterior wall. A fixed sash picture window is also located at the front of the structure. A broken girt encircles the exterior of the structure. A carport, with a shed roof and concrete slab foundation protrudes from the northwest side of the structure. The carport houses a large collection of bottles and artifacts collected by the resident. Eventually the collection will be exhibited at the Kamahana Store (Building 260). The building is occupied and in fair condition. Termite damage should be repaired. The structure should be fumigated and painted. Vegetation should be cleared from the base of the structure.

SIGNIFICANCE: Hicks Home - none

MAINTENANCE COST: \$2,800

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 189

LOCATION: Kaiulani Street

USE: Residence wash-

SIZE: 36 x 26 + 14 x 18 house OWNERSHIP: State

DATE OF STRUCTURE: 1932

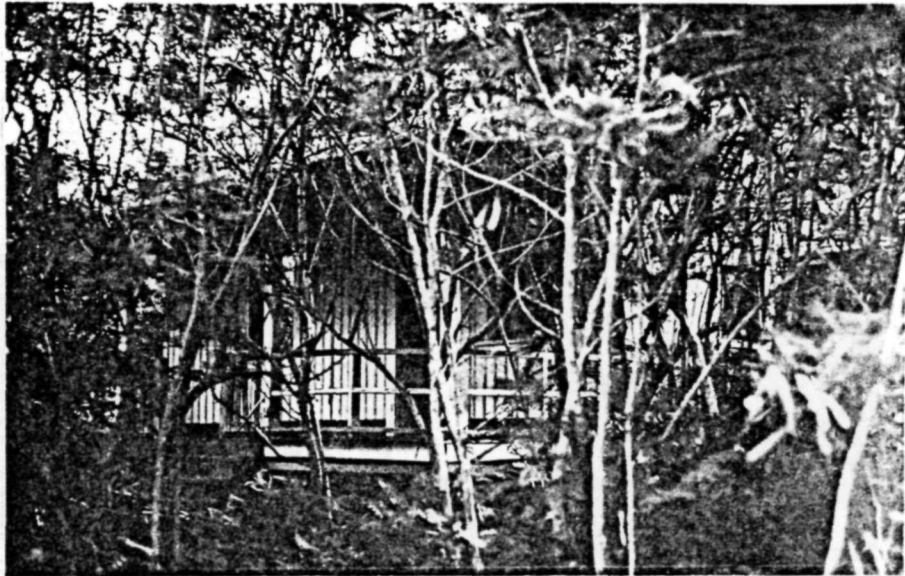
DESCRIPTION: The structure is a one-story building of single wall construction with a stone pad and post foundation. The foundation is skirted with latticework. The hip roof is finished with composition shingles. Wood steps provide access to the recessed corner porch which is incorporated under the hip roof. A chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. The wood frames of the double hung windows project several inches from the exterior of the vertical plank wall. A partially enclosed wash house, with a concrete foundation and a shed roof is located at the rear of the rectangular structure. The building is occupied and in fair condition. Termite damage should be repaired. The structure should be fumigated and painted.

SIGNIFICANCE:

MAINTENANCE COST: \$2,110

FUTURE MAINTENANCE COST: \$500/annum

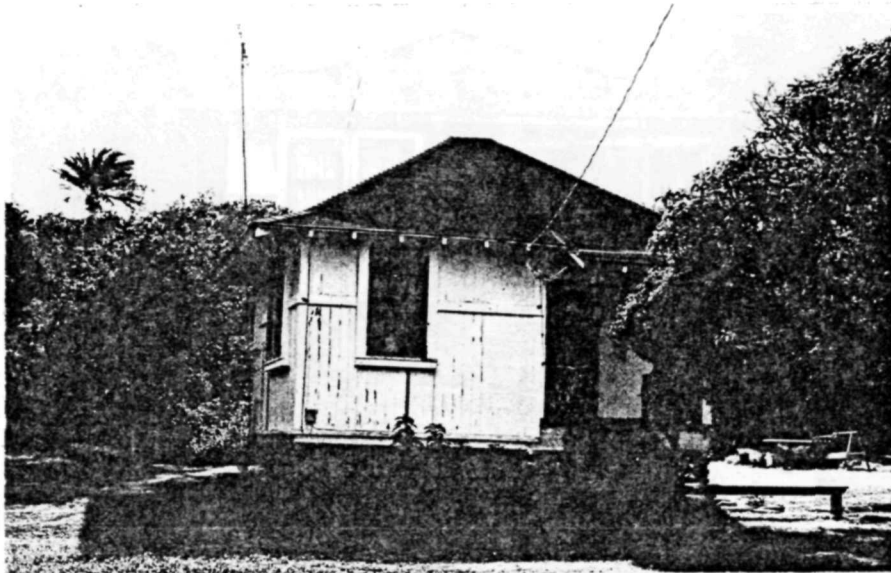
DATE OF REPORT: January 14, 1977



STRUCTURE: Building 188
LOCATION: Kaiulani Street
USE: Abandoned Residence
SIZE: Approx. 900 sq. ft. OWNERSHIP: State
DATE OF STRUCTURE: Unknown (1931?)
DESCRIPTION: The structure is a one-story building of single wall construction with a pad and post foundation. The board and batten exterior finish is the same as that of the dining hall (Building 5, Staff Row). The gable roof of the structure is finished with wood shingles, covered in some sections with rolled composition roofing material. The structure has not been occupied for a long period of time and is very overgrown. The building is riddled with rot and termites. Removal is recommended because of its deteriorated condition.

SIGNIFICANCE: No known significance.

MAINTENANCE COST: No estimate
FUTURE MAINTENANCE COST: No estimate
DATE OF REPORT: January 14, 1977



STRUCTURE: Building 190 (66R-190)

LOCATION: Kaiulani Street

USE: Residence

SIZE: Approx. 450 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1931

DESCRIPTION: The structure is a one-story building of single wall construction with a concrete pad and post foundation. The broken-pitch hip roof is finished with composition shingles. Wood steps provide access to the recessed corner porch which is incorporated under the hip roof. A post and two pilasters articulate the edges of the porch. Other corners of the structure are finished with cornerboards. A broken girt encircles the exterior. The wood frames of the twelve-light double hung windows project several inches from the exterior wall. A partially enclosed exterior washroom, constructed on a concrete slab and with a shed roof, is located at the rear of the rectangular structure. The building is occupied and in fair condition. The structure has been recently painted, but should be fumigated and re-roofed.

SIGNIFICANCE: Moved from McVeigh Home. Same plan as building 13, Mc Veigh Home.

MAINTENANCE COST: \$3,300

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 192

LOCATION: Kaiulani Street

USE: Residence

SIZE: 34 x 24 + 8 x 8 wash- OWNERSHIP: State

DATE OF STRUCTURE: 1931

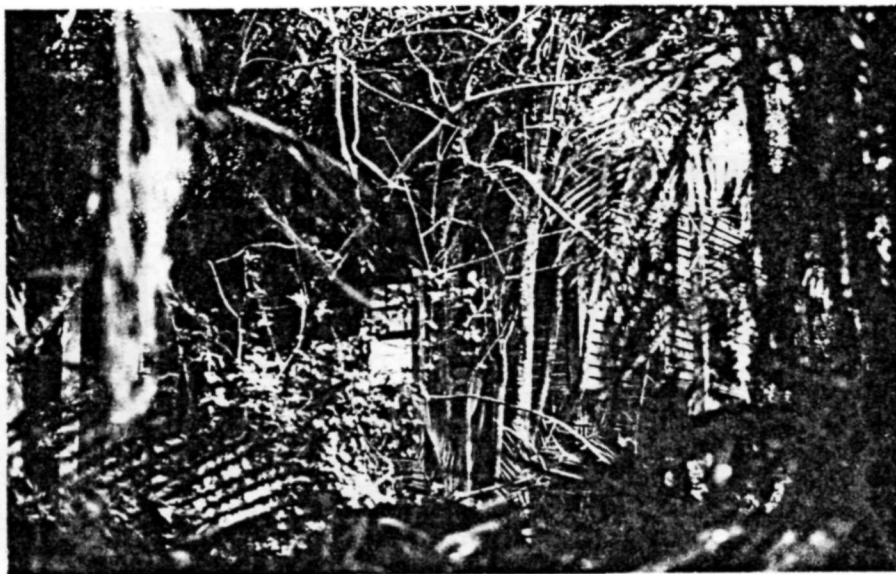
DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. The foundation is skirted with latticework. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. A chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. A girt encircles the structure and is broken by the wood frames of the double hung windows which project several inches from the exterior of the vertical plank wall. A partially enclosed wash house, with a concrete foundation and a shed roof is located at the rear of the rectangular structure. The building is occupied and in good condition. The structure should be fumigated for termites.

SIGNIFICANCE: One of many.

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 198

LOCATION: Kapiolani Street

USE: Former Philipino Club and Dance Center - abandoned

SIZE: Unknown (40 x 60?) OWNERSHIP: Unknown

DATE OF STRUCTURE: Unknown

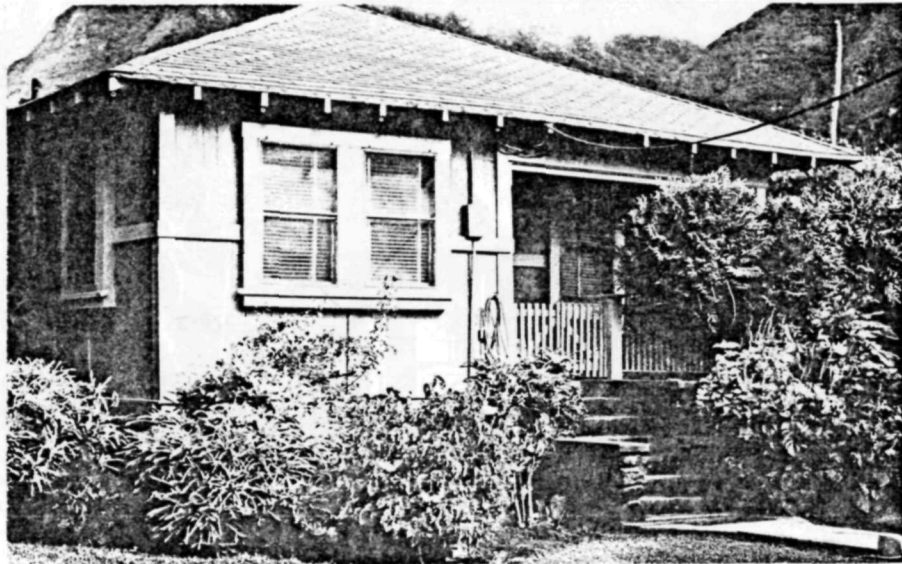
DESCRIPTION: The structure consists of the ruins of a frame building. The building originally had a hip roof, finished with wood shingles. Most of the roof has collapsed. The exterior finish is clapboard siding. The corners of the building are articulated with cornerboards. The wood frame windows were twelve-light, double hung and capped with shaped wood lintels. The foundation consists of stone pads and posts. In several places (seem to be additions, porches), the foundations consist only of large stones, up to three feet in diameter. The structure is deteriorated beyond repair. Trees are growing up through the floor. Several old school desks are located on the porch. The remains of an old stone is rusting in the interior of the building.

SIGNIFICANCE: The only structure at Kalapapa with clapboard siding. Seems to have been very finely detailed. Definitely requires more research. Although the building is beyond saving. According to the Annual Reports this structure is the old Kalaupapa courthouse, and it was moved to this location. The windows are detailed with shaped wood lintels similar to Siloama.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 14, 1976



STRUCTURE: Building 199

LOCATION: Kapiolani Street

USE: Residence

SIZE: Approx. 1000 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932

DESCRIPTION: The structure is a one-story building of single wall construction with a pad (concrete and stone) and post foundation. The hip roof is finished with composition shingles. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. A chamfered post and two chamfered pilasters articulate the edges of the porch. Other corners of the structure are finished with cornerboards. The wood frames of the double hung windows project several inches from the exterior of the vertical plank wall. A broken girt encircles the exterior. A partially enclosed porch (wash house) with a shed roof, is located at the rear of the rectangular structure. The building is occupied and in fair condition. Vegetation should be cleared from the base of the structure. Rot and termite-damaged boards should be replaced. The structure should be fumigated.

SIGNIFICANCE: one of many of same plan.

MAINTENANCE COST: \$2,000

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 202

LOCATION: Kapiolani Street

USE: Residence - unoccupied

SIZE: Approx. 840 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1931

DESCRIPTION: The structure is a one-story residence of single wall construction with a stone pad and post foundation. A recessed porch, located in the northwest corner of the structure is incorporated under the hip roof. A diamond-patterned railing once enclosed the porch; only a small section of this railing remains. The roof is finished with green composition shingles. The eaves of the high hip roof are finished with closely-spaced brackets. The porch posts are topped with curved brackets. The corners of the structure are finished with cornerboards. The structure has not been occupied for approximately six months and much of the building material (plumbing, counters, cabinets, railings) has been unofficially recycled into private structures. The structure is in poor, but very salvagable condition. All damage to the structure should be repaired (including termite damage). The structure should be re-roofed with original material. Windows should be re-glazed. The building should be painted and fumigated.

SIGNIFICANCE: One-of-a-kind structure which makes this building unusual for Kalaupapa. The scale of the building and the elements combine into a structure of architectural integrity worth saving and warrants further research.

MAINTENANCE COST: \$14,300

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 15, 1976



STRUCTURE: Building 202A

LOCATION: Kapiolani Street

USE: Wash House (or store house?)

SIZE: Approx. 10 x 10 OWNERSHIP: State

DATE OF STRUCTURE: Unknown (1931?)

DESCRIPTION: The structure is a one-story building of single wall construction, with a board and batten exterior. The foundation is obscured by vegetation (probably concrete). The gable roof is finished with composition shingles. The six-light pivoting windows have wood frames. The structure is in deteriorated condition although minor maintenance would keep the building serviceable for several more years.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 11, 1976



STRUCTURE: Building 210 (or 71R-185)

LOCATION: Kaulani Street

USE: Residence

SIZE: 36 x 26 + 14 x 14 wash house OWNERSHIP: State

DATE OF STRUCTURE: 1931 (?)

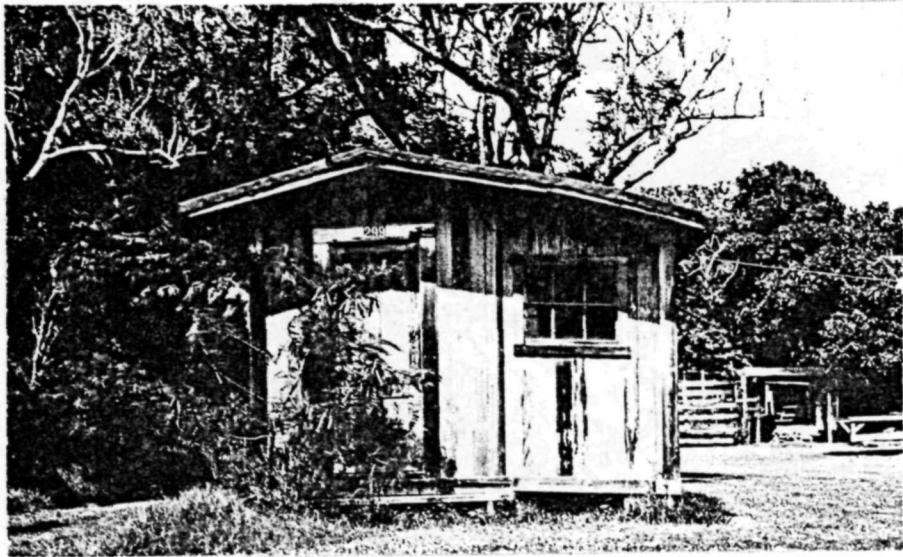
DESCRIPTION: The structure is a one-story building of single wall construction with a concrete pad and post foundation. Termite shields are located between the pads and wood posts. The hip roof is finished with composition shingles. Wood steps provide access to the recessed corner porch which is incorporated under the hip roof. A chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. The wood frames of the double hung windows project several inches from the exterior of the vertical plank wall. A broken girt encircles the exterior. A partially enclosed wash house, with a concrete foundation and a shed roof is located at the rear of the rectangular structure. The building is occupied and in fair condition. Termite damage should be repaired. The structure should be fumigated and painted.

SIGNIFICANCE: One of many of same age and plan.

MAINTENANCE COST: \$2,100

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 14, 1977



STRUCTURE: Building 299

LOCATION: School Street

USE: Former barber shop

SIZE: Approx. 12 x 10

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

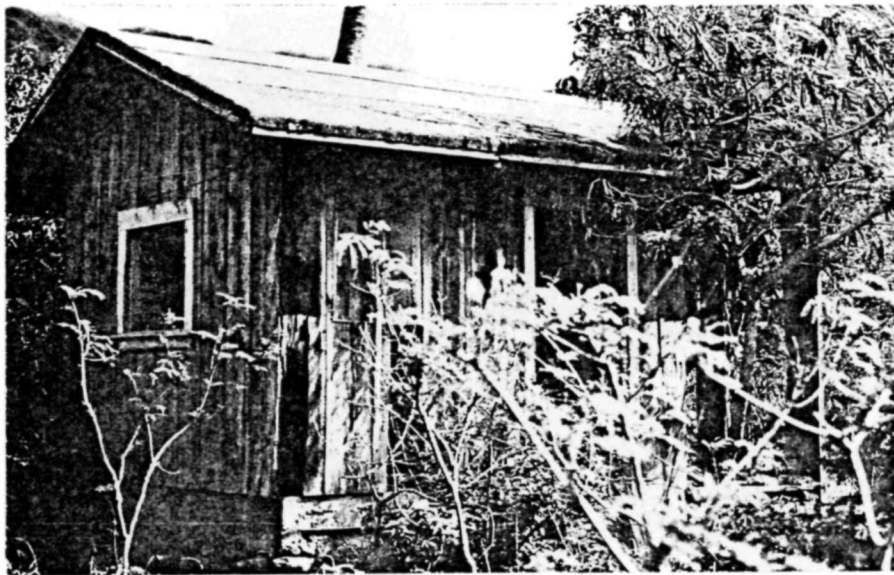
DESCRIPTION: The structure is a one-story building of single wall construction. The saltbox roof is finished with rolled composition roofing material. The foundation is stone pad and post. The corners of the structure are finished with cornerboards. The building is in poor condition, due to termites, rot and subsequent sagging. Grass is growing out of the foundation. The structure houses barber chair. The structure looks as if it has not been used for a long period of time (but where does everyone get their hair cut?).

SIGNIFICANCE: Unknown

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1977



STRUCTURE: Building 549

LOCATION: East section, Beretania Street

USE: None (abandoned Chicken Farm)

SIZE: Approx. 10 x 10 OWNERSHIP: State

DATE OF STRUCTURE: Unknown

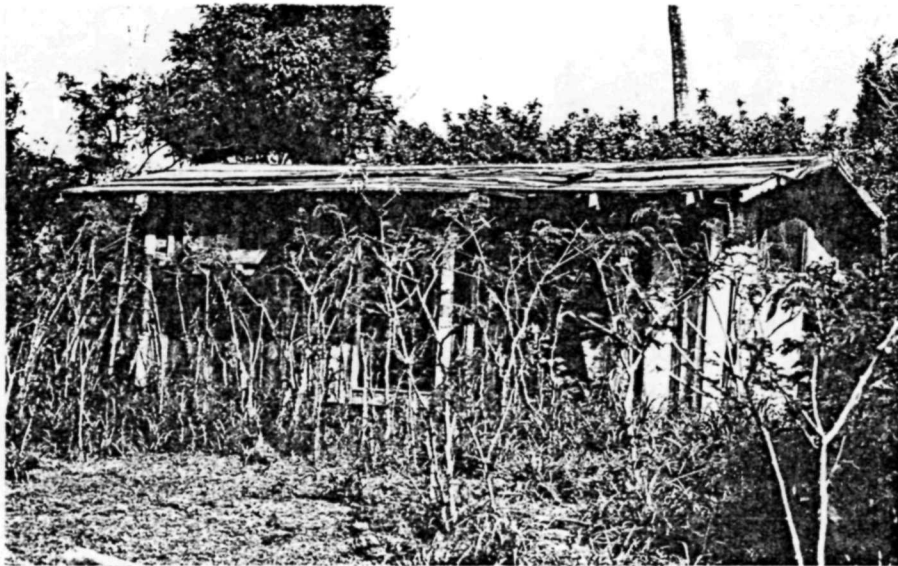
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The building has a stone and concrete foundation. The gable roof is finished with green rolled composition roofing material. The structure is in deteriorated condition.

SIGNIFICANCE: None. Removal is recommended.

MAINTENANCE COST: 0.00

FUTURE MAINTENANCE COST: 0.00

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 550

LOCATION: East section, Beretania Street

USE: None

SIZE: Approx. 10 x 20 OWNERSHIP: State

DATE OF STRUCTURE: Unknown

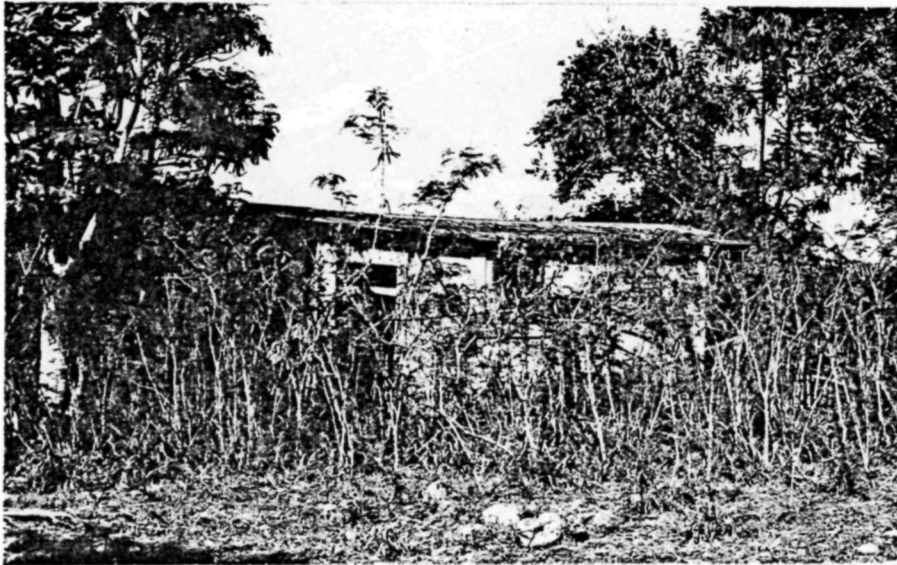
DESCRIPTION: The structure is a one-story building of single wall construction, with a board and batten exterior finish. The remains of the gable roof are finished with rolled composition roofing material. The foundation is stone pad and post type. The structure is in deteriorated condition.

SIGNIFICANCE: None. Removal is recommended.

MAINTENANCE COST: 0.00

FUTURE MAINTENANCE COST: 0.00

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 551

LOCATION: Beretania Street, east section

USE: None (abandoned chicken farm)

SIZE: Approx. 20 x 20 OWNERSHIP: State

DATE OF STRUCTURE: Unknown

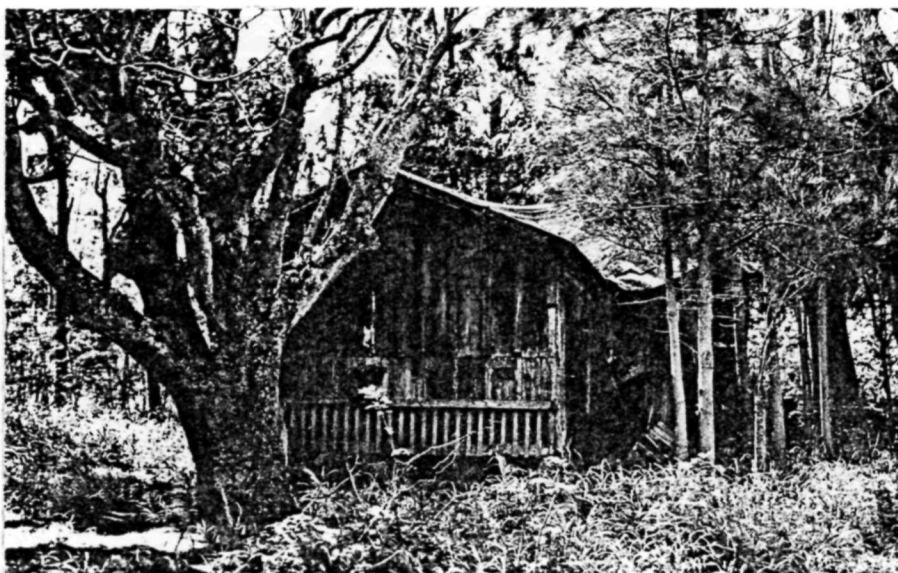
DESCRIPTION: The structure is a one-story building of single wall construction. The gable roof of the structure is finished with the remains of rolled composition roofing material. The structure is in very deteriorated condition, and about to collapse.

SIGNIFICANCE: None - removal is recommended.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 554

LOCATION: Beretania Street, east section

USE: None - abandoned chicken farm

SIZE: Approx. 15 x 30 OWNERSHIP: State

DATE OF STRUCTURE: Unknown

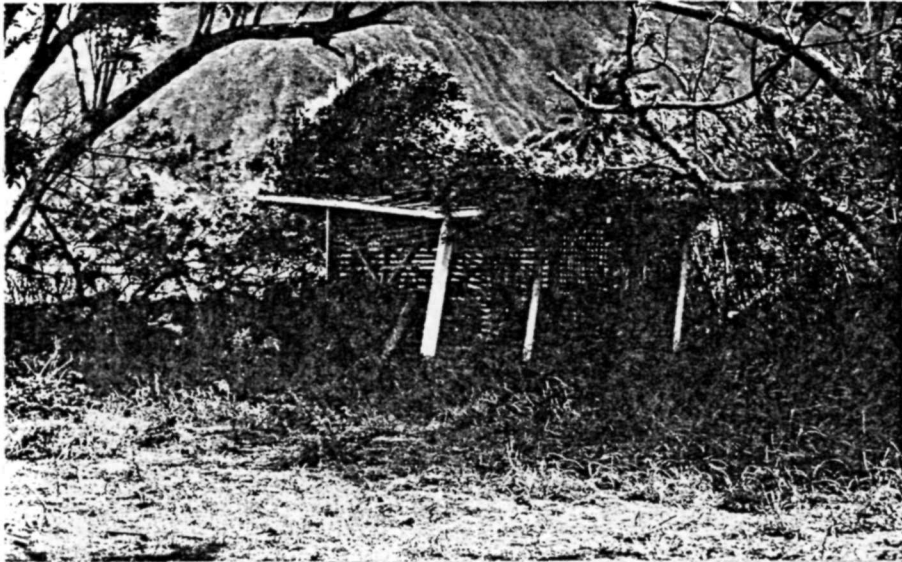
DESCRIPTION: The structure is a frame building of single wall construction, with an exterior finish of board and batten. The building seems to have been divided into stalls at one time. The gable roof is sagging and about to collapse. The structure is in very deteriorated condition.

SIGNIFICANCE: None. Removal is recommended.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 555

LOCATION: Beretania Street, east side

USE: None - abandoned chicken farm

SIZE: Approx. 10 x 10 OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of posts, with latticework walls and shed roof. The structure probably was a hothouse. The structure is in deteriorated condition and is collapsing.

SIGNIFICANCE: None - removal is recommended.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 556

LOCATION: Beretania Street, east section

USE: None - abandoned chicken farm

SIZE: Approx. 20 x 40 OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a gable roof finished with rolled composition roofing material. The structure is in very deteriorated condition is leaning and about to collapse. The building is being overgrown by koa.

SIGNIFICANCE: None - removal is recommended.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976

STAFF ROW

(Private Structures)



STRUCTURE: Building 617

LOCATION: Staff Row

USE: Storage

SIZE: Approx. 10 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.
The exterior finish is board and batten. The shed roof is finished with
corrugated metal. The structure is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 618

LOCATION: Staff Row

USE: Carport

SIZE: Approx. 16 x 16

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

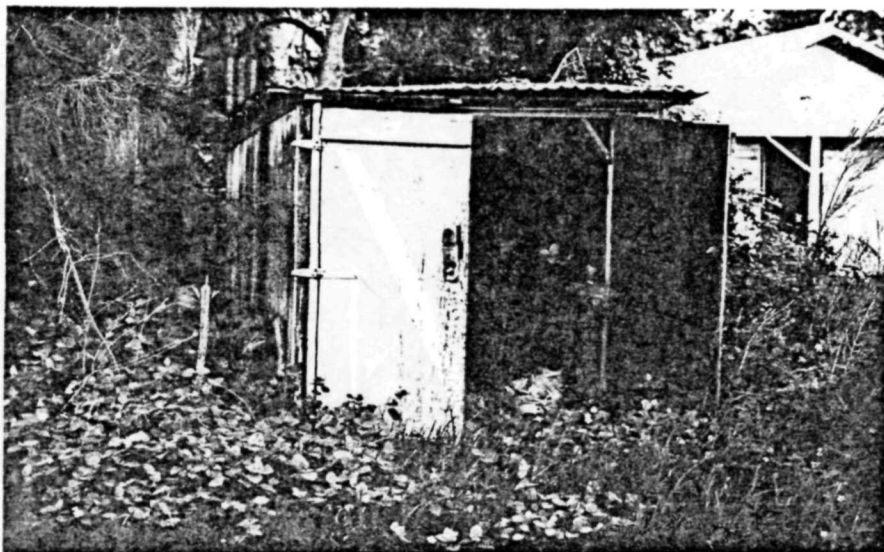
DESCRIPTION: The structure is a wood frame, with a shed roof finished with corrugated metal. The posts rest in cans of poured concrete. The structure is in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 625

LOCATION: Staff Row

USE: Tool and Storage Shed

SIZE: Approx. 7 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a single wall frame building with a shed roof. The roof is finished with corrugated metal. The foundation is overgrown with vegetation, and is rotting and riddled with termites. The front wall of the building is made up of double doors. The structure is in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 626

LOCATION: Staff Row

USE: Carport

SIZE: Approx. 15 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is built of frame construction, with a shed roof finished with rolled composition roofing. The structure has a concrete pad foundation. Only one wall is finished with wood siding. The other three sides are open. The structure seems to have been built of recycled materials, and is in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 629

LOCATION: Staff Row

USE: Garage

SIZE: Approx. 20 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one story building of single wall construction. The intersecting shed roofs of this rectangular structure are finished with corrugated metal. Wall finish is corrugated metal and board and batten. The structure, which seems to have been built of recycled materials, is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976

STAFF ROW

(State-Owned Structures)



STRUCTURE: Building SR-1-A

LOCATION: Staff Row

USE: Guest Cottage

SIZE: Approx. 675 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction. The hip roof is finished with red composition shingles. The foundation consists of concrete pads and posts. A broken girt encircles the exterior of the structure. A shed roof, which extends from the west side of the structure, shelters a small wood porch which provides access to the front door. A water table finishes the lower edge of the structure. The structure is used intermittently as a guest house for non-patient guests, and living quarters for visiting outside staff members on duty tours. The structure is in fair to good condition, and in need of fumigation and painting.

SIGNIFICANCE: None

MAINTENANCE COST: \$2250.

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 1

LOCATION: Staff Row

USE: Residence

SIZE: 4900 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The broken pitch hip roof of the U-shaped structure is finished with composition shingles. The wood frames of the twelve-light double hung windows project several inches from the exterior wall. The structure is divided into separate bedrooms and community living spaces. Concrete steps with solid stone railings provide access to the three main entrances in the front courtyard on the wet side of the structure. The building is occupied, and seems to be in good condition. Some vegetation should be cleared from the base of the structure, and the termite-eaten boards which are no longer structurally sound should be replaced. The building should be fumigated.

SIGNIFICANCE: Architecturally the most imposing building on Staff Row for for spatial definition (the building serves as a landmark and defines the corner). Also a prime example of a period "Institutional" structure, Hawaiian variety.

MAINTENANCE COST: \$6200

FUTURE MAINTENANCE COST: \$1500/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 3

LOCATION: Staff Row

USE: Laundry Room and Apartment

SIZE: Approx. 30 x 50

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

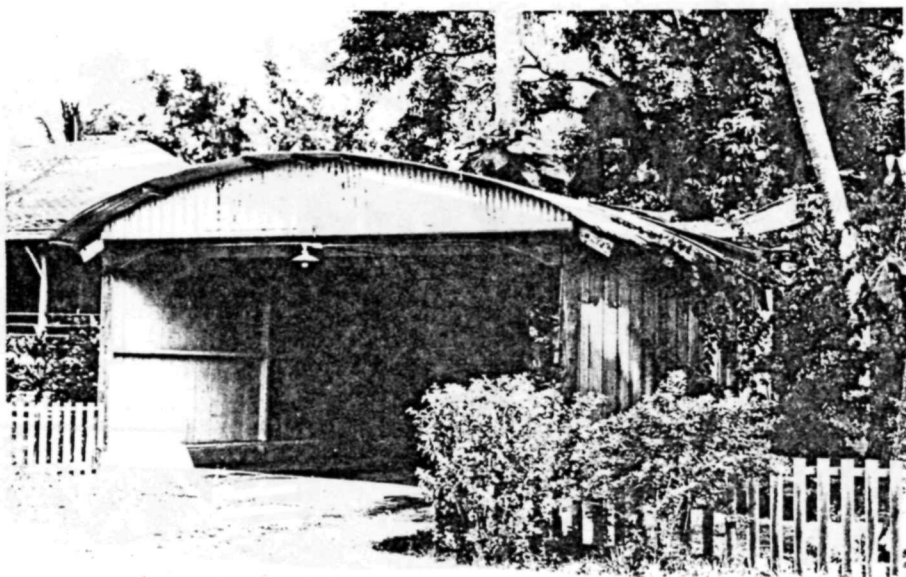
DESCRIPTION: The structure is a single story building constructed of concrete block finished with cement stucco. Parts of the upper section of the building, and the roof are of wood frame construction. The gable roof is finished with corrugated metal. The foundation is concrete. The structure is used, and serves as living quarters for two non-patient employees, and a staff laundry room. The structure is in fair condition, but should be fumigated and painted, and termite damage repaired. Vegetation should be cleared from the base of the structure.

SIGNIFICANCE: None

MAINTENANCE COST: \$2850

FUTURE MAINTENANCE COST: \$200/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 4

LOCATION: Staff Row

USE: Garage

SIZE: Approx. 20 x 20

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a single wall frame building (board and batten) with a corrugated metal quonset roof-constructed on metal framing members. The structure has a concrete foundation. The wood portions of the building are deteriorating due to rot and termites, and the metal roof and framing members are rusting. The structure is in poor condition. No estimate was done, due to its condition and lack of significance.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 5

LOCATION: Staff Row

USE: Staff Dining Hall and central kitchen

SIZE: Approx. 2500 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

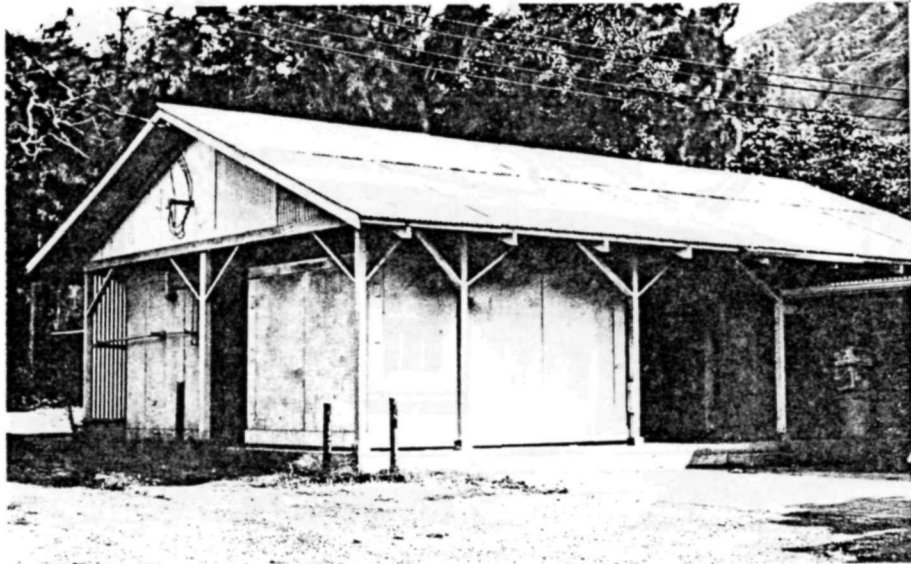
DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. The generally rectangular building has a broken-pitch hip roof, with a recessed porch at the southwest corner. Concrete steps, bordered by two planters (as in the Administrator's Residence) lead to the front porch and two entrance doors. The wooden posts of the porch have jigsaw decorative brackets. The porch ceiling is plasterboard or "Celotex". Most of the windows are paired, and are wood frame, double hung (twelve-light). The exterior finish is board and batten. The corners of the structure are finished with endboards. The structure has been altered-the south wall includes a wall section of concrete block. The building is used daily, and is in fair condition. The structure should be fumigated and painted, re-roofed with original material, and termite damage repaired.

SIGNIFICANCE: Probably the earliest structure on staff row, originally the Administrator's Residence. Architectural significance has been marred by the alterations. Eventually should be restored to its original condition.

MAINTENANCE COST: \$14,300

FUTURE MAINTENANCE COST: \$850/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 6

LOCATION: Staff Row

USE: Freezer Shelter

SIZE: 28 x 40

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building with a gable roof and a concrete slab foundation. The roof, gable ends, and the east side are finished with corrugated metal. The building is connected to the dining hall (Building 5) immediately to the west of it by a walkway covered with a corrugated metal roof. The structure houses the freezers for the dining hall. The building is in good condition. Ferns growing from the base of the freezer should be removed.

SIGNIFICANCE: None

MAINTENANCE COST: \$50

FUTURE MAINTENANCE COST: \$100/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 7

LOCATION: Staff Row

USE: Storage, formerly supervising cook's residence

SIZE: Approx. 20 x 20

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction. The gable roof extends into a shed roof on the south side of the structure. The foundation consists of stone pads and posts. The wood shingles of the roof have been covered over with composition shingles. The wood frame windows are mainly twelve-light double hung. The foundation in the southwest corner has buckled, and is in need of repair. The structure should be fumigated, re-roofed with wood shingles, and painted.

SIGNIFICANCE: The structure probably dates back to the early days of staff row (and is prior to 1939), but is of no architectural significance. However, the building can be easily rehabilitated for many more years of use.

MAINTENANCE COST: \$3400

FUTURE MAINTENANCE COST: \$340/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 8

LOCATION: Staff Row

USE: Guest quarters, staff

SIZE: Approx. 1250 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction, with a pad and post foundation. The exterior finish is board and batten. The rectangular structure has a gable roof, finished with composition shingles which have been applied over wood shingles. An addition, which runs the length of the south side of the structure, is covered with a hip roof which extends from the gable (was this originally a porch?). A small wood entry porch, sheltered by a shed roof, is the main entrance to the building on the south side. Most of the wood frame windows are twelve-light double hung. The corners of the structure are finished with endboards. The old paint on the building is texturized with sand, which was used as a termite deterrent. The structure is in fair to poor condition. The wood shingles under the composition roofing are rotting, possibly causing further damage to the roof structure. Some wood, particularly the old decorative battens (some already replaced) are in need of replacement, due to termites with which the building is riddled. The structure should be fumigated and painted, and grade should be cleared and vegetation removed.

SIGNIFICANCE: Mainly historic, minimal architectural significance. The building seems to have been altered. The combination of architectural elements lacks cohesion.

MAINTENANCE COST: \$9230

FUTURE MAINTENANCE COST: \$600/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 9

LOCATION: Staff Row

USE: Tool shed and storage area

SIZE: Approx. 15 x 21

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

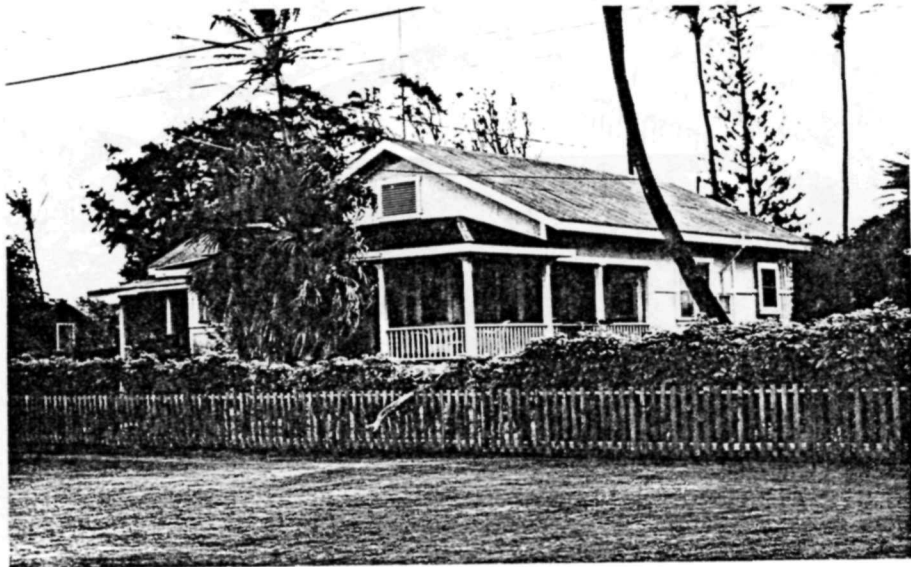
DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. The gable roof is finished with rolled composition roofing material, applied over wood shingles. A veranda which runs the length of the structure is sheltered by a shed roof on the north side of the structure, and has a diamond-patterned railing. The posts have decorative jigsaw brackets, some of which are missing. The building is very deteriorated from rot and termites. The front steps have been replaced with a ramp. Because of its poor condition, no estimate was made (rehabilitation would mean nearly total reconstruction).

SIGNIFICANCE: Although a fine example of a simple Hawaiian vernacular building, the structure is too far gone to preserve. At least one example of this type is being highly recommended for preservation. Demolition of this structure is recommended when it is no longer used.

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 10

LOCATION: Staff Row

USE: Administrator's Residence

SIZE: Approx. 2200 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: unknown

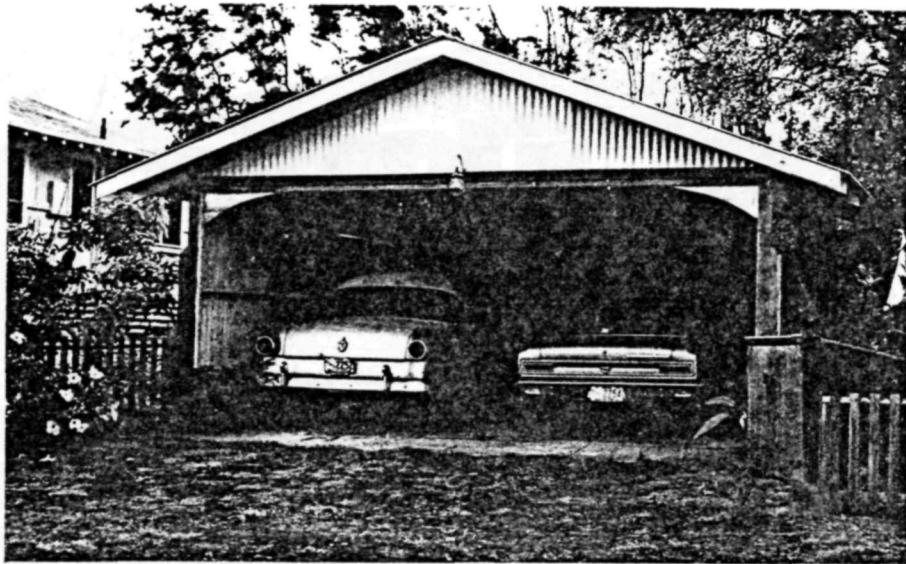
DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation and latticework skirt around the posts of the foundation. The T-shaped structure, which seems to have had at least one addition to the north, has intersecting gable roofs, finished with metal. The L-shaped front porch, located in the southwest corner of the structure, is sheltered in part by a hip roof which juts out below the main gable, and partially recessed under that gable. Chamfered posts and pilasters articulate the edges of the porch. The corners of the building are finished with end boards. A broken girt encircles the exterior of the structure. A second porch, sheltered by a shed roof, is located in the northwest section of the building. A small entryway, again sheltered by a shed roof, is located at the rear (east) of the structure. Concrete steps provide access to the front porch. The wood frame windows are double hung (12-light). The structure presently is not occupied, but is in good condition. The structure has been recently painted. The structure should be fumigated, and vegetation should be cleared from the base.

SIGNIFICANCE: Historical and architectural significance to settlement, although neither the State nor the National Register forms had a date.

MAINTENANCE COST: \$1200

FUTURE MAINTENANCE COST: \$840/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 11

LOCATION: Staff Row

USE: garage

SIZE: Approx. 20 x 20

OWNERSHIP: State

DATE OF STRUCTURE: unknown

DESCRIPTION: The structure is a frame building of single wall construction with board and batten siding, and a corrugated metal gable roof. The building is infested with termites. No estimate was done, since replacement would probably be less expensive than rehabilitation. The structure is in poor condition, and is still in use.

SIGNIFICANCE: None. Removal is recommended when no longer used.

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 14

LOCATION: Staff Row

USE: Doctor's Residence

SIZE: Approx. 900 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction, with a concrete pad and post foundation. The hip roof is finished with red composition shingles. A broken girt encircles the exterior of the structure. A water table finishes the lower edges of the structure, and the corners are finished with end boards. The structure has been very recently painted. The building is occupied intermittently, since there is no resident doctor. The structure is in good condition, but should be fumigated.

SIGNIFICANCE: None

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 15

LOCATION: Staff Row

USE: Garage

SIZE: Approx. 12 x 20

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The building is a single story structure of single wall construction. The exterior finish is board and batten. The gable roof is finished with green rolled composition roofing. The foundation is concrete. The building has been heavily damaged by termites and rot. Rehabilitation of this structure would mean virtual reconstruction. Demolition is recommended, when the building is no longer needed.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 16

LOCATION: Staff Row

USE: Electrician's Residence

SIZE: Approx. 350 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

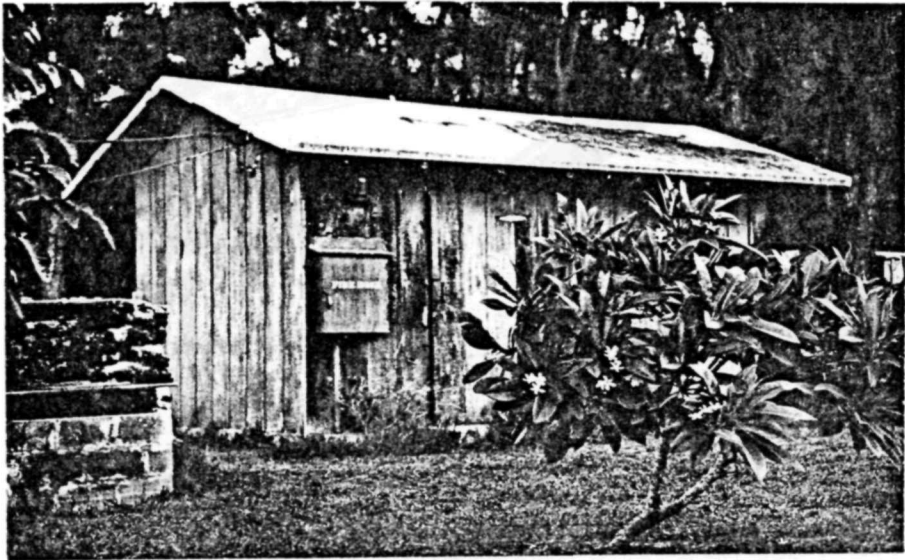
DESCRIPTION: The structure is a one-story building of single wall construction (board and batten), with a concrete pad and post foundation. The gable roof, with a shed extension at the front of the structure is finished with rolled composition roofing material. Wood steps provide access to the front door. A water table encircles the base of the structure. The building is occupied, but in poor condition. In order to keep the building in a maintenance state, the rotted eaves and decking should be replaced, as well as other wood throughout the structure; the building should be re-roofed, painted, and fumigated.

SIGNIFICANCE: The structure is probably one of the outbuildings dating back to the early days of staff row (circa the turn of the century), however, is not of enough architectural or historical significance to warrant long term preservation. Removal is recommended after the structure no longer is used.

MAINTENANCE COST: \$3200.

FUTURE MAINTENANCE COST: \$300

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 17

LOCATION: Staff Row

USE: Laundry Building

SIZE: 12 x 18

OWNERSHIP: State

DATE OF STRUCTURE: unknown

DESCRIPTION: The structure is a one-story building of single wall construction (board and batten), with a concrete foundation. The gable roof of the building is finished with rolled composition roofing. The structure is used intermittently as a laundry area. The building is in poor condition. To keep the structure serviceable for many more years, it should be fumigated, painted, and lumber should be replaced. Vegetation should be cleared from the base.

SIGNIFICANCE: None. Removal is recommended after the structure no longer is used.

MAINTENANCE COST: \$2000

FUTURE MAINTENANCE COST: \$300

DATE OF REPORT: January 12, 1977



STRUCTURE: Building 619

LOCATION: Staff Row

USE: Storage and ironing area for Staff Row Domestic Attendant

SIZE: Approx. 14 x 15

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. The gable roof is finished with corrugated metal. The corners of the structure are finished with endboards. Entrance to the structure is through a doorway at the south gable end. The structure is sagging, and in deteriorated condition. Removal is recommended after it is no longer used.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 12, 1977

