

# KALAUPAPA BUILDING INVENTORY

## KALAUPAPA - HAWAII

### ADMINISTRATION/INDUSTRIAL - PRIVATE OWNED STRUCTURES

- Protestant Church Kanaana Hou - Calvinist Mission
- Catholic Church - St. Francis
- Rea's Store and Restroom

### ADMINISTRATION/INDUSTRIAL - STATE OWNED STRUCTURES

- Residences
- Maintenance Area Buildings
- Administration Building
- Food Warehouse
- Patients Store
- Gas Station
- Post Office & Courthouse
- Library
- Rectories: Protestant and Catholic

### CONSTRUCTION CAMP/PASCHOAL HALL - PRIVATE OWNED STRUCTURES

- Privately Owned Structures
- Garages/Wash Houses, Sheds, etc.

### CONSTRUCTION CAMP/PASCHOAL HALL - STATE OWNED STRUCTURES

- Residences
- Gas Station in Maintenance Yard
- Storage Buildings
- Craft and Storage Building
- Building 301
- Jail and Police Headquarters
- Social Hall & Movie (Paschoal Hall)

### KAMEHAMEHA ST. TO MORMON CHURCH - PRIVATE STRUCTURES

- Mormon Church - Building 257
- Many Sheds, Garages, etc.

### KAMEHAMEHA ST. TO MORMON CHURCH - STATE OWNED STRUCTURES

- Residences

### OTHER PENINSULA AREAS - PRIVATE OWNED STRUCTURES

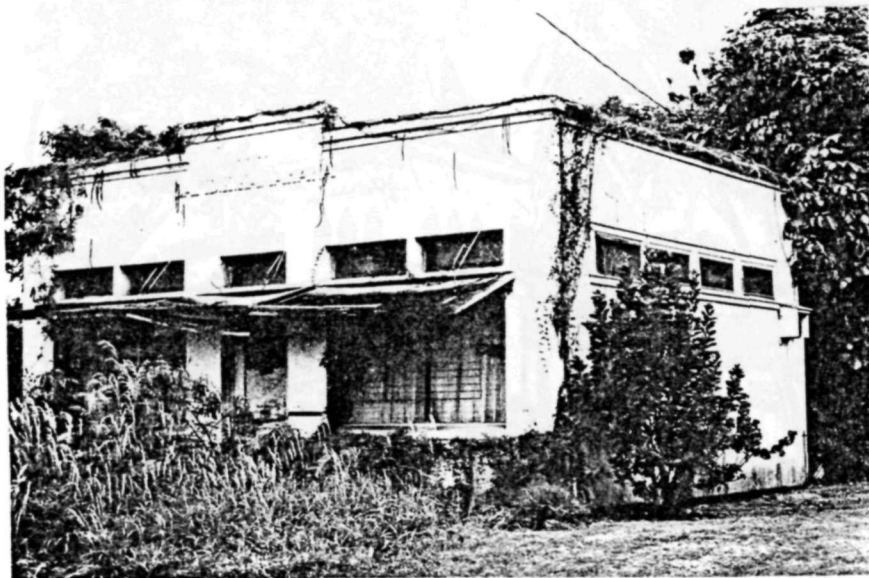
- Rest Room
- Picnic Pavilion
- Beach Houses
- Siloama Protestant Church

### OTHER PENINSULA AREAS - STATE OWNED STRUCTURES

- Airport Terminal
- Building 706 - Residence
- Building 707 - Residence
- Building 709 - Garage
- St. Philomena Church - Former R.C.
- Building 715 - Molokai Lighthouse

# **ADMINISTRATIVE/INDUSTRIAL AREA** (Private Structures)





STRUCTURE: Building 260

LOCATION: Kamehameha Street

USE: Storage at present

SIZE: Approx. 25 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: 1932

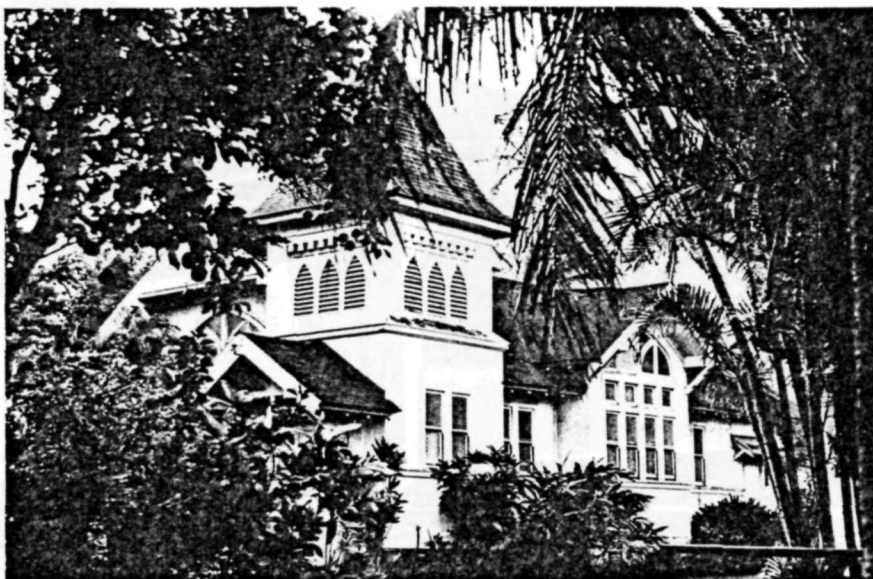
DESCRIPTION: The structure is a frame building. The front section of the building has an exterior finish of stucco. The rear (storage) section is vertical plank siding, and is probably of single wall construction. The building has a symmetrical facade, with a door flanked by two picture windows. A series of five windows is located above the door and main windows. A small shed roof runs the length of the front of the structure. A parapet which runs along the roofline is broken, and raised several inches to articulate the front entrance. The structure is used for storage at this time, although a resident plans to turn the building into a museum. The structure is overgrown, and seems to be in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 286

LOCATION: Calvinist Mission

USE: Church

SIZE: Approx. 34 x 60

OWNERSHIP: United Church of Christ

DATE OF STRUCTURE: 1915

DESCRIPTION: The structure is a frame building of single wall construction, with a foundation consisting of stone footings and wood posts, and concrete. The main gable roof is transected by two smaller gables which cover the windows projecting from the middle sections of the east and west walls. These gables are approximately two feet lower than the main gable. A tower which designates the main entrance to the building is located in the northwest corner of the structure. The tower has a hip roof finished with wood shingles, and ventilating louvers in the shapes of pointed arches on all four sides. Walls consist of vertical plank siding, surrounded by a continuous girt just below window level, and a water table at the sole plate. The large window areas - one at each gable end and each wing - are broad, pointed arches filled with fixed sash and double hung windows. Structural outlookers project beyond the roof-lines at the gable ends. The interior space is articulated with wood barrel vaults and exposed trusses. The building is in very deteriorated condition, and is in need of virtual board-by-board reconstruction.

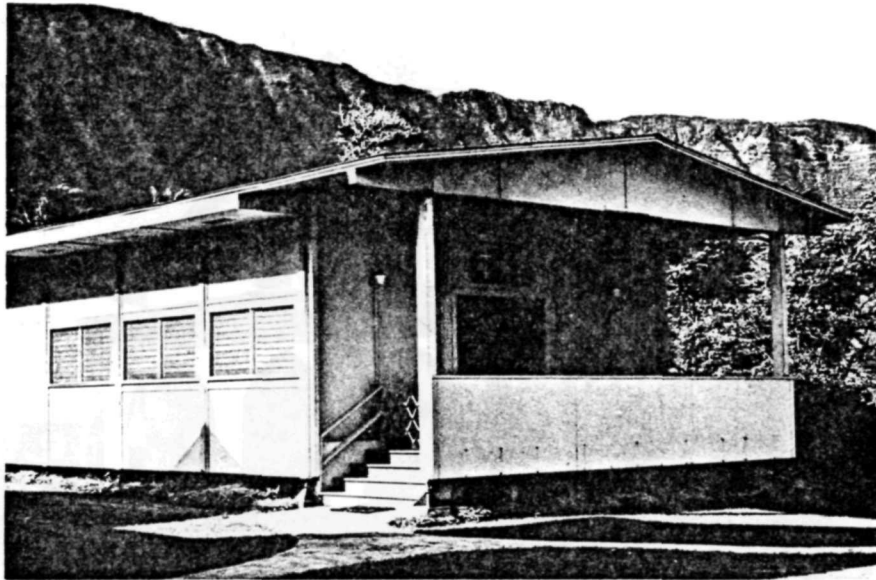
SIGNIFICANCE: According to the Pastor, nearly similar to Nanikooole Church on Oahu. "... in 1915 the present ornate building was erected by Sam Kaaumoana, leader of the choir of Kaumakapili Church, who brought his crew of carpenters and painters with him from Honolulu. This crew consisted of his two brothers-in-law, and son-in-law and three sons." (Ethel Damon, Siloama, Church of the Healing Spring. Honolulu: Hawaiian Board of Missions, 1948. p. 82) Simplified Stick Style.

MAINTENANCE COST: \$75,000

FUTURE MAINTENANCE COST: \$1,000/annum

DATE OF REPORT: January 17, 1977





STRUCTURE: Building 287

LOCATION: Kanaana Hou Church

USE: Parish Hall

SIZE: Approx. 30 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown (very recent)

DESCRIPTION: The structure is a frame building, with a plywood exterior. The foundation consists of concrete pads and metal posts. The gable roof is finished with composition shingles. A veranda, sheltered by the gable roof, stretches across the north end of the structure. The building is frequently used, and seems to be in fair to good condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 291

LOCATION: Industrial area

USE: Catholic church

SIZE: Approx. 38 x 100

OWNERSHIP: Catholic Church

DATE OF STRUCTURE: Completed 1908

DESCRIPTION: The building is a reinforced concrete structure with a concrete foundation. The rectangular building has an arched portico at the west side sheltered by a hip roof, a large nave with a gable roof, and a sacristy at the east end with a shed roof. A three-tiered steeple with a pyramidal roof is located in the southeast corner of the structure. All roofs are covered with corrugated metal. The hooded gothic windows are interspersed with reinforced concrete buttresses on the north and south walls. Other windows throughout the structure, as well as the louvers in the steeple are also of the hooded gothic type. Flanking the tops of the windows on the north and south are quatrefoils which have been filled in with masonite (replacing the original glass?). Corinthian columns on the interior help support the gothic vaults. The interior floor is scored concrete. The structure is used daily, and is in poor condition. Any termite damage should be repaired (windows, roof structure.) The stained glass windows should be stabilized. The structure should be re-roofed. The interior and exterior should be painted.

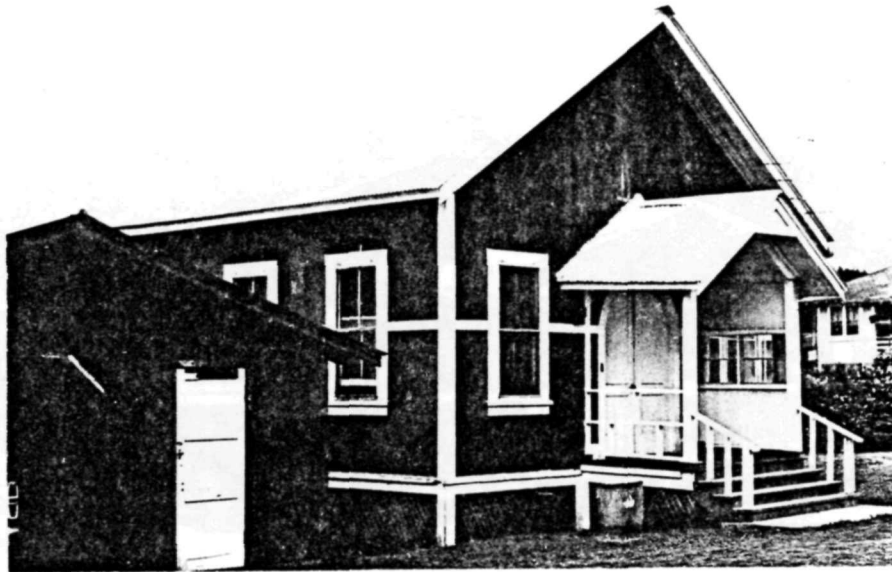
SIGNIFICANCE: Quite a massive building effort for Kalaupapa. More research is warranted without question. Architecturally imposing, and really serves as the visual landmark for Kalaupapa. The church is the building most easily distinguished from the top of the pali, and from the air. Also exemplifies the efforts of one religion trying to out-do the other, which was so common for decades in Hawaii.

MAINTENANCE COST: \$41,500

FUTURE MAINTENANCE COST: \$1,000/annum

DATE OF REPORT: January 26, 1977





STRUCTURE: Building 292

LOCATION: St. Francis Church

USE: Social Hall, library

SIZE: Approx. 28 x 32

OWNERSHIP: Private

DATE OF STRUCTURE: Prior to 1939 (seems to be on 1908 map)

DESCRIPTION: The structure is a frame building of single wall construction.

The gable roof is covered with metal, is part of the front entrance portico.

The double door for this entrance, had a pointed gothic arch. The founda-

tion consists of stone pads and posts. A latticework skirting is located

between the posts. The corners of the structure are finished with corner-

boards. A broken girt encircles the exterior, approximately six feet

above floor level. A water table edges the sole plate. An addition, with

shed and gable roofs has been constructed on the rear of the L-shaped

building. The structure, Father Damien Memorial Hall, is in poor condition

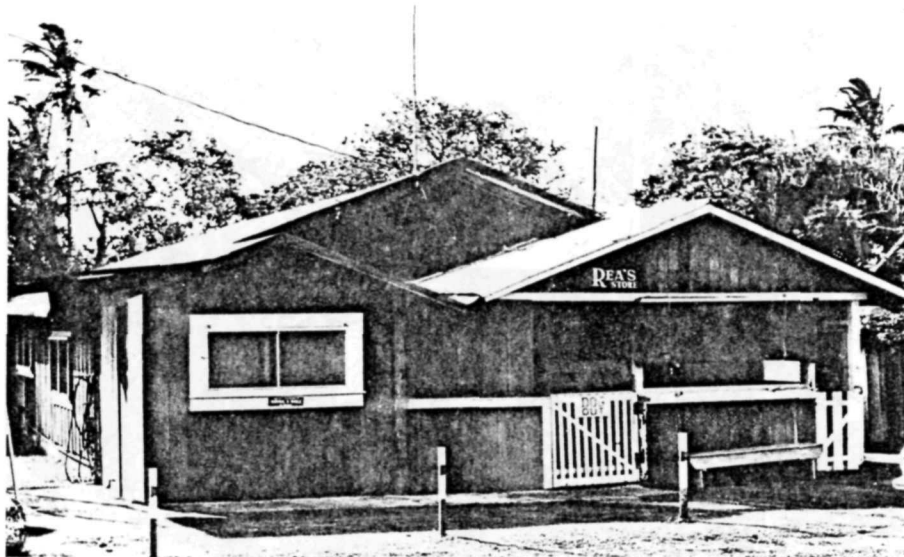
due to termites and rot.

SIGNIFICANCE: None - Doesn't have the integrity of the AJA in terms of  
design, and it has been altered. Outbuilding to St. Francis.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 298-A

LOCATION: Corner Pauhi and School Streets

USE: Tavern And Store

SIZE: Approx. 30 x 50

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with exterior walls of board and batten and vertical plank siding. The multiple gable roofs are finished with rolled composition roofing material and corrugated metal. The building is constructed on a concrete slab. A recessed porch, incorporated under the gable roof, is located at the east end of the structure. The building is used daily (except Sunday) and is in fair to poor condition (termites and the usual problems).

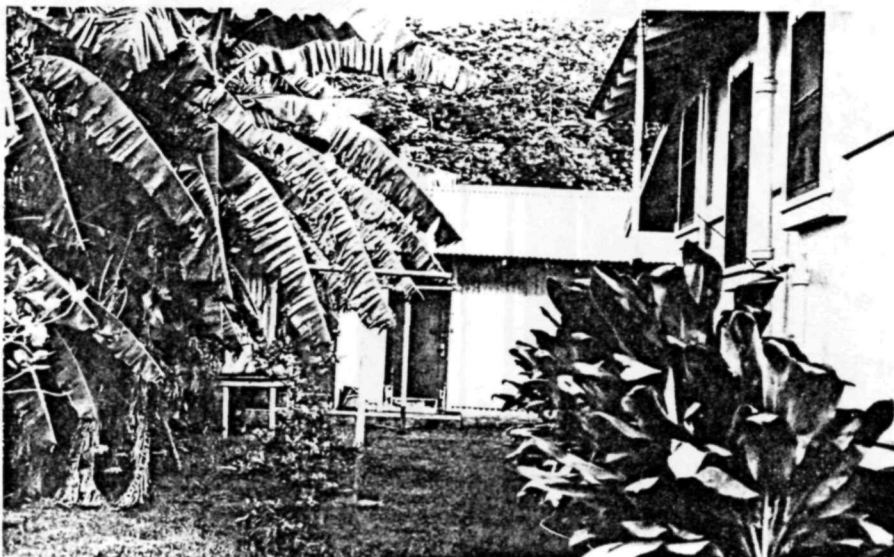
SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976





STRUCTURE: Building 623

LOCATION: Behind Residence 71R-61

USE: Garage and storage building

SIZE: Approx. 12 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.

The walls, as well as the gable roof, are covered with corrugated metal.

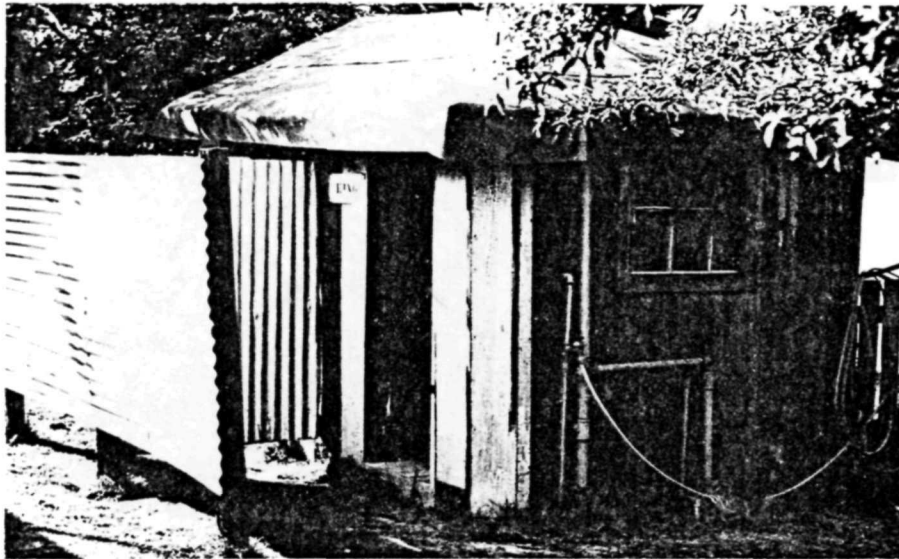
The foundation is concrete. The structure is used, and seems to be in good condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 13, 1976



STRUCTURE: Building 624

LOCATION: Corner Puahi and School Streets

USE: Restroom for bar

SIZE: Approx. 10 x 7 OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with an exterior finish of board and batten. The hip roof is finished with rolled composition roofing material. The foundations consists of footings (stone or concrete?) which are obscured by vegetation. The building is divided into two sections ("Kings" and "Queens"). A baffle consisting of a wood frame and corrugated metal sheets discreetly shelters both entrances. The building is in poor condition (rot and termites). The structure like the bar, is used daily, except Sunday.

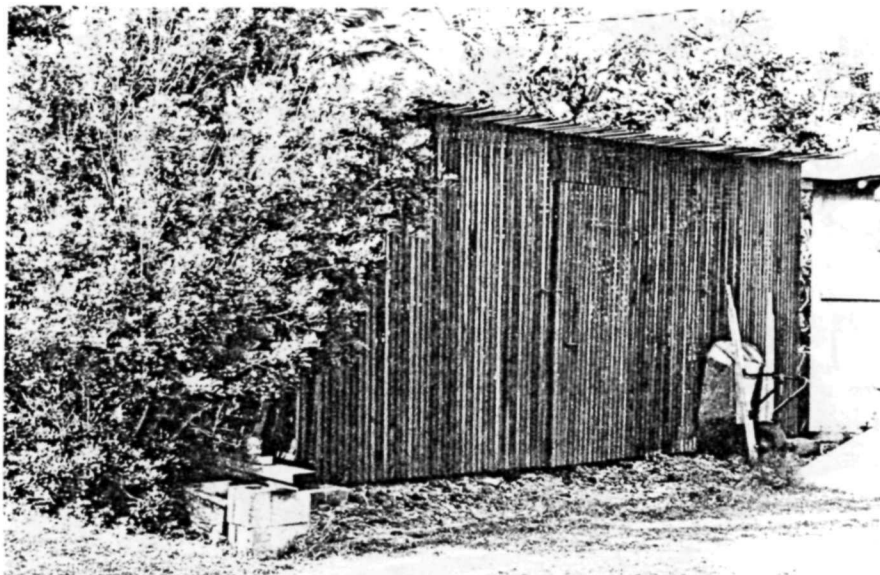
SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976





STRUCTURE: Building 636

LOCATION: Behind Kanaana Hou

USE: Hot house

SIZE: Approx. 15 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a wood frame, with walls and shed roof covered with lath-size wood strips. The foundation consists of concrete pads. The building is in use, and seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 637

LOCATION: Near Kanaana Hou

USE: Storage building

SIZE: Approx. 7 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a stone pad and post foundation. The hip roof is covered with grey composition shingles. A concrete ramp leads up to the front door of the building. The structure is used, and seems to be in fair condition, although it is infested with termites.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 641

LOCATION: Behind Residence 30

USE: Former wash house or storage building

SIZE: Approx. 10 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with an exterior finish of board and batten siding. The foundation consists of stone pads and wood posts. The shed roof is finished with rolled composition roofing material. The structure is being overgrown. The building is abandoned, and seems to be in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 642

LOCATION: Next to residence 30

USE: Abandoned garage

SIZE: Approx. 12 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.

The walls consist of vertical plank and board and batten siding. The gable roof is finished with rolled composition roofing material. The structure has no visible foundation. The building is sagging, and is about to collapse.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 643

LOCATION: Kilohana Street

USE: Garage

SIZE: Approx. 20 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.

The walls consist of vertical plank and board and batten siding. The  
gable roof is covered with corrugated metal. The building is divided into  
sections for two cars. A wood frame shed has been attached to the rear  
of the building. The structure is used, and is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 644

LOCATION: Behind Residence 53

USE: Abandoned storage building

SIZE: Approx. 10 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building with a board and batten exterior finish. The gable roof is covered with the remains of wood shingles. The structure is in ruins, and about to be eaten to death by termites.

SIGNIFICANCE: According to Isaac Keao, this building is located on a heiau site, which is kapu for women.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 645

LOCATION: Kilohana Street

USE: Garage

SIZE: Approx. 15 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building, with corrugated metal for three walls and roof. The fourth wall is completely open. The structure is used, and shows the usual signs of deterioration.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 646

LOCATION: Kilohana Street

USE: Garage and storage

SIZE: Approx. 30 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction. The walls consist of board and batten siding, and corrugated metal sliding doors. The gable roof is covered with corrugated metal. The structure is becoming overgrown with koa. The building seems to be abandoned, and is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 647

LOCATION: St. Francis Church

USE: Garage

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

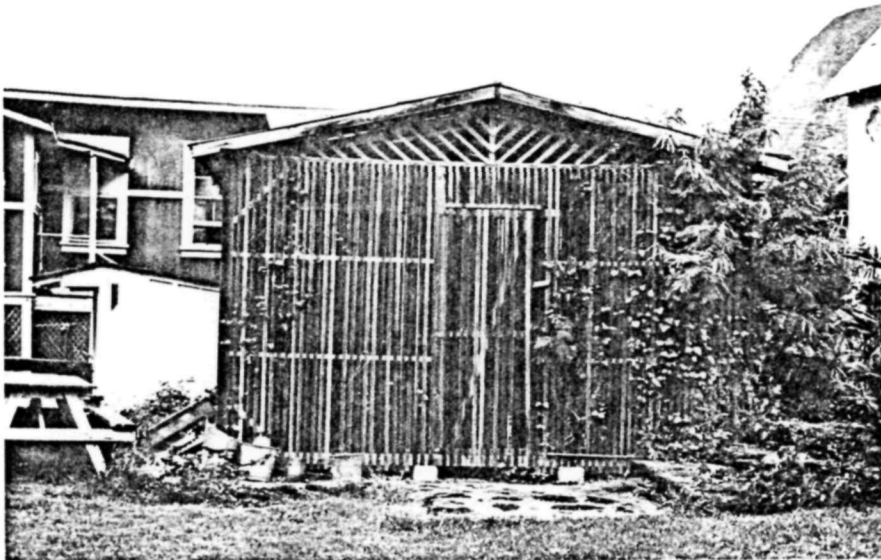
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The foundation is a concrete slab. The gable roof is finished with corrugated metal. The building is divided into two sections an open carport area, and enclosed storage area. The building is used, and is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 648

LOCATION: St. Francis Church

USE: Hot house

SIZE: Approx. 10 x 12

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a wood frame, with perforated walls and roof  
of lath-size wood strips. The gable ends are finished in a decorative  
herringbone pattern. The foundations consist of concrete blocks. The  
structure is used, and seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976

STRUCTURE: Building 649

LOCATION: St. Francis Church

USE: Outhouse

SIZE: Approx. 6 x 6

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building, with a board and batten exterior finish. The foundation is concrete (footings?). The shed roof is finished with rolled composition roofing material. The structure is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

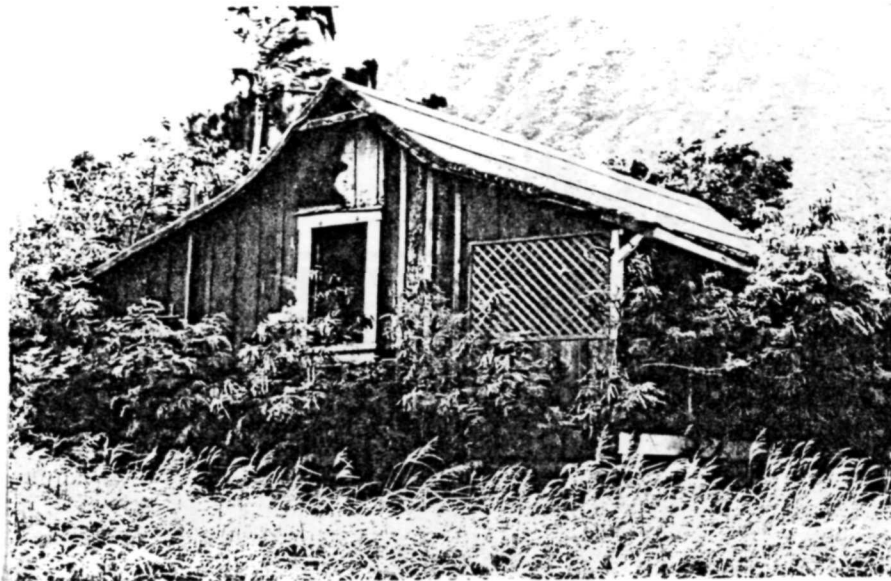
FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976

# **ADMINISTRATIVE/INDUSTRIAL AREA**

**(State-Owned Structures)**





STRUCTURE: Building 29

LOCATION: Near Industrial center

USE: Abandoned residence

SIZE: Approx. 20 x 30

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The combination of gable and shed roofs is covered with rolled composition roofing material which has been applied over wood shingles. The foundation consists of stone footings and wood posts. A recessed porch is incorporated under the roof in the northwest corner of the structure. The structure is so deteriorated that it essentially is beyond repair.

SIGNIFICANCE: Further research should be done to determine the date and possible historic significance of this structure. Architecturally, the building is an example of a type of simple Hawaiian vernacular, although there are better examples extant at Kalaupapa. Before removing, find out the date! A structure was located at this site according to the 1908 map.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 26, 1977



STRUCTURE: Building 30

LOCATION: Near Industrial area

USE: Residence

SIZE: Approx. 900 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1939

DESCRIPTION: The structure is a one-story frame building of single wall construction, with a stone pad and wood post foundation. Wood steps provide access to the recessed corner porch which is incorporated under the hip roof. One chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. A girt encircles the structure, and is broken by the wood frames of the double hung windows which project several inches from the exterior of the vertical plank wall. The hip roof is finished with composition shingles. An addition with a gable roof has been attached to the rear of the structure. The building is occupied and in fair condition. Termite damage should be repaired (eaves, particularly), and the structure should be fumigated.

SIGNIFICANCE: \_\_\_\_\_

MAINTENANCE COST: \$1000

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 18, 1977



STRUCTURE: Building 53

LOCATION: Kilohana Street

USE: Residence

SIZE: Approx. 900 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1932

DESCRIPTION: The structure is a one-story frame building of single wall construction, with a stone pad and post foundation. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. One chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. A girt encircles the structure, and is broken by the wood frames of the double hung windows which project several inches from the exterior of the vertical plank wall. An enclosed wash room, with a shed roof and a stone pad foundation, is located at the rear of the building. The structure is in poor condition. Termite damage should be repaired and vegetation should be fumigated, re-roofed and painted.

SIGNIFICANCE: One of many, in terms of style. The structure (according to Kalaupapa residents) is built on a heiau. The building and yard are kapu for women. It is considered defiant to live there. Since the building was constructed, six persons have lived there - two men and four women. The men have had no real problems. The women have all dead, fairly young - one only 34. Archeological study is highly recommended, to confirm the heiau site and to take proper action.

MAINTENANCE COST: \$6700

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 26, 1977



STRUCTURE: Building 71R-61

LOCATION: Behind Administration building

USE: Residence

SIZE: Approx. 1000 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1930?

DESCRIPTION: The structure is a one-story building of single wall construction, with a stone pad and post foundation. Wood steps provide access to the recessed corner porch which is incorporated under the hip roof. One chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. A girt encircles the structure, and is broken by the wood frames of the double-hung windows which project several inches from the exterior of the vertical plank wall. The hip roof is finished with composition shingles. A partially enclosed wash house with a shed roof, is located at the rear of the rectangular structure. The building is occupied and in fair condition. Termite damage should be repaired. The building should be fumigated and painted.

SIGNIFICANCE:

MAINTENANCE COST: \$1900

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 17, 1977





STRUCTURE: Building 62

LOCATION: Behind Administration building

USE: Storage (for bar)

SIZE: Approx. 30 x 54

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a stone pad and post foundation. The multiple roofs - predominantly hip roofs with gables, but also shed roofs - are finished with rolled composition roofing material which has been applied over wood shingles. Siding varies from vertical plank to board and batten. The wood frame windows are twelve-light, double hung. A recessed porch is located in the central section, west side of the building sheltered by a shed roof. The building seems to have been constructed in several stages. The structure is in very deteriorated condition, and is slated for demolition.

SIGNIFICANCE: Date should be research. Somewhat similar to Building 104.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 262

LOCATION: Behind plumbing wash house

USE: Abandoned crematory

SIZE: Approx. 15 x 28

OWNERSHIP: State

DATE OF STRUCTURE: 1938

DESCRIPTION: The structure is a hollow tile building with a gable roof covered with corrugated metal. The building has nine-light metal industrial windows (fixed and hinged sash). The structure is in poor condition, and is being overgrown with koa. It is assumed that the building is no longer used. Removal is recommended.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 18, 1977



STRUCTURE: Building 263

LOCATION: Industrial center

USE: Storage (mainly plumbing supplied)

SIZE: Approx. 20 x 106

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a wood frame building with a corrugated metal shed roof. The building is divided into stalls, some of which are enclosed with vertical plank walls and some of which are open. The foundation is concrete. The structure is in fair to poor condition. The building should be fumigated. Termite damage should be repaired. Vegetation should be cleared from the base of the structure. The building should be painted (walls, roof and posts) to further protect it from weathering and termites.

SIGNIFICANCE: None

MAINTENANCE COST: \$4600

FUTURE MAINTENANCE COST: \$300/annum

DATE OF REPORT: January 18, 1977



STRUCTURE: Building 263-A

LOCATION: Damien Road, Industrial Center

USE: Storage (building materials)

SIZE: Approx. 46 x 100

OWNERSHIP: State

DATE OF STRUCTURE: 1950

DESCRIPTION: The structure is a large quonset hut constructed on a stone and concrete foundation. The stone walls rise approximately four feet above grade. The metal structural members are supported by the stone walls. The semi-cylindrical structure is covered with corrugated metal. Several jalousie windows are located on the long sides of the building. Double metal sliding doors (factory-type) are located at the flat west wall. The building is used for storage, and seems to be in fair condition. Vegetation should be kept clear of the building. The structure should be painted (metal only). Fumigation is recommended, because the building houses lumber. Some of the lumber is new and has been treated; other lumber has been reclaimed from abandoned structures and could have termites.

SIGNIFICANCE: None

MAINTENANCE COST: \$6400

FUTURE MAINTENANCE COST: \$800/annum

DATE OF REPORT: January 18, 1977



STRUCTURE: Building 264

LOCATION: Industrial Center

USE: Maintenance Shop (carpenters' shop)

SIZE: Approx. 34 x 66 OWNERSHIP: State

DATE OF STRUCTURE: 1930

DESCRIPTION: The structure is a hollow tile building, with a gable roof covered with corrugated metal. The foundation consists of a concrete slab. Single and double wood doors are located at the north and south ends of the building. Most of the windows are eight-light industrial windows (hinged and fixed metal sash). Ventilation louvers are located at the north and south gable ends. The building is in poor condition. Most of the metal throughout the structure is rusting out, including the roof structure. The building receives much use. Replacement of the structure is recommended if a facility of this type is needed over a long period of time. In the mean time, vegetation should be cleared from the base of the building. If the building is to be kept, walls and windows should be repaired, and the roof should be rebuilt.

SIGNIFICANCE: None

MAINTENANCE COST: \$20,000

FUTURE MAINTENANCE COST: \$200/annum

DATE OF REPORT: January 18, 1977





STRUCTURE: Building 265

LOCATION: Industrial Center

USE: Maintenance Shop

SIZE: Approx. 34 x 66 + 66 shed OWNERSHIP: State

DATE OF STRUCTURE: 1938

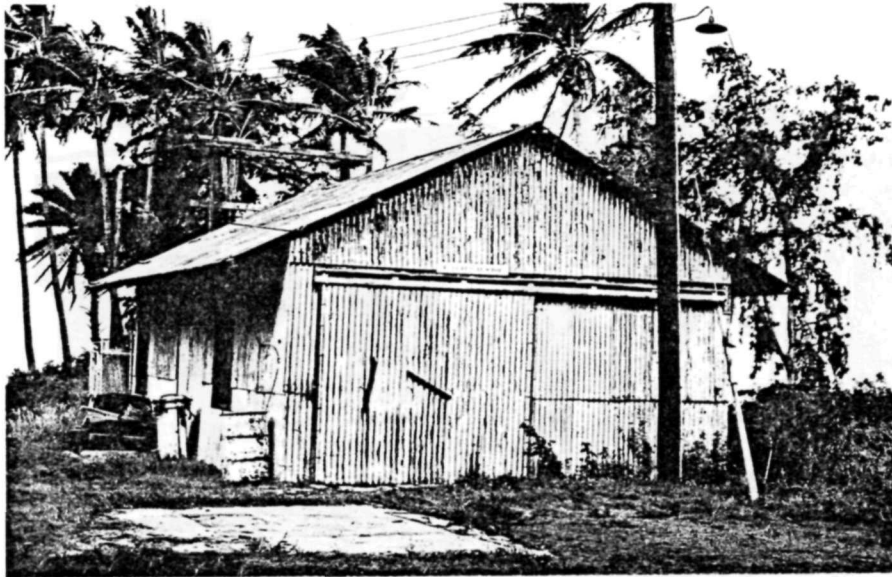
DESCRIPTION: The structure is a hollow tile building, with a gable roof covered with corrugated metal. A ventilating monitor covers approximately half of the gable. The foundation is concrete. Single and double wood doors are located at the north and south ends of the building. Most windows are eight light industrial (metal sash, hinged and fixed). Ventilation louvers are located at the north and south gable ends. A large wood frame shed, with a corrugated metal shed roof, is located at the rear of the structure. The building is in poor condition. Most of the metal throughout the structure is rusting, including the roof structure. Replacement of the structure is recommended if a facility of this type is needed over a long period of time (very likely). In the mean time, vegetation should be cleared from the base of the building. If the building is to be kept, the walls and windows should be repaired, and the roof should be rebuilt.

SIGNIFICANCE: None

MAINTENANCE COST: \$20,000

FUTURE MAINTENANCE COST: \$200/annum

DATE OF REPORT: January 18, 1977



STRUCTURE: Building 266

LOCATION: Industrial area

USE: Electrical Shop

SIZE: Approx. 20 x 40

OWNERSHIP: State

DATE OF STRUCTURE: 1929

DESCRIPTION: The structure is a frame building, with corrugated metal walls and roof. The foundation is concrete. The building is in poor condition. A cyclone fence with power transformer is located at the rear of the building. Replacement of the structure would be less expensive than rehabilitation.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 18, 1977



STRUCTURE: Building 267-268

LOCATION: Industrial area

USE: Butcher shop and freezers

SIZE: Approx. 3300 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932

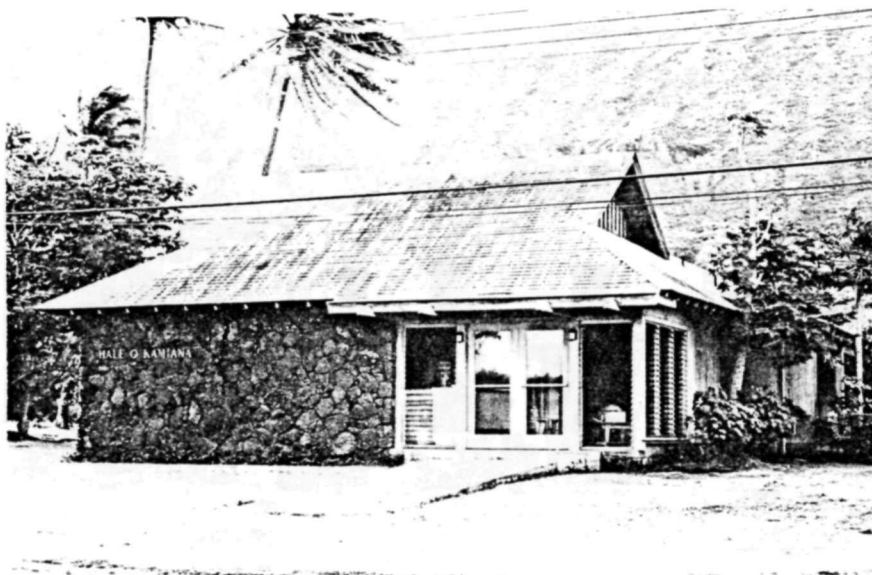
DESCRIPTION: The structure (two buildings with several additions) is built of hollow tile and frame construction. The multiple roofs (gable, shed) are covered with corrugated metal. Most windows are wood frame double hung (twelve light). Gable ends and some wall sections are covered with corrugated asbestos. A loading dock is located on the north side of the structure. An open shed is located on the west side. The structure is in deteriorated condition. Superficial work of fumigating, patching the roof, and painting the exterior will keep the structure usable for several more years. Eventual replacement will be necessary.

SIGNIFICANCE: None

MAINTENANCE COST: \$4600

FUTURE MAINTENANCE COST: \$600/annum as long as needed

DATE OF REPORT: January 18, 1977



STRUCTURE: Building 61-270

LOCATION: Administrative area

USE: Administration building

SIZE: Approx. 2800 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1961

DESCRIPTION: The structure is a hollow tile, frame and masonry building constructed on stone and concrete foundations. The gabled roof is finished with composition shingles. A ramp provides access to the original front door, which is no longer used. The main entrance now is located near the center of the west side of the building, near the administrator's office. Jalousie windows throughout the structure usually make up the upper half of the wall space, although floor-to ceiling jalousies are located in the main office section. The building includes two separate offices, a conference room, and restrooms in the south wing. Across a breezeway the north wing includes one large office space usually shared by four workers. The structure is in fair condition. Any termite damage (rafters, beams, and columns along the east and west porticos of the south wing) should be repaired. The roof should be patched. A tree in the northwest section of the building should be cut back to prevent damage to the roof. The building should be fumigated.

SIGNIFICANCE: \_\_\_\_\_

MAINTENANCE COST: \$5,200

FUTURE MAINTENANCE COST: \$800/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 271

LOCATION: Industrial area

USE: Food warehouse

SIZE: Approx. 2050 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1937

DESCRIPTION: The structure is a reinforced concrete building, constructed on a concrete foundation. Walls are divided into sections by concrete buttresses. The buttresses makai have exposed re-bars, and spalling concrete, because they are constantly battered by salt spray and sometimes by high surf. The main warehouse door (wood) is located at the north wall. A one-story attachment (Office?) is located at the northeast corner of the building. Windows on the first story are jalousie, or double hung wood frame. First story windows makai have been filled-in with concrete. Second story windows are industrial six-light metal sash. The structure is in fair to poor condition. The spalling concrete should be repaired. Some window panes need replacement. Window frames should be painted. The exterior should be painted.

SIGNIFICANCE: None. Somewhat similar in design to store, but constructed later.

MAINTENANCE COST: \$3350

FUTURE MAINTENANCE COST: \$150/annum

DATE OF REPORT: January 18, 1977





STRUCTURE: Building 272

LOCATION: Industrial area

USE: Settlement store

SIZE: Approx. 2200 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1934

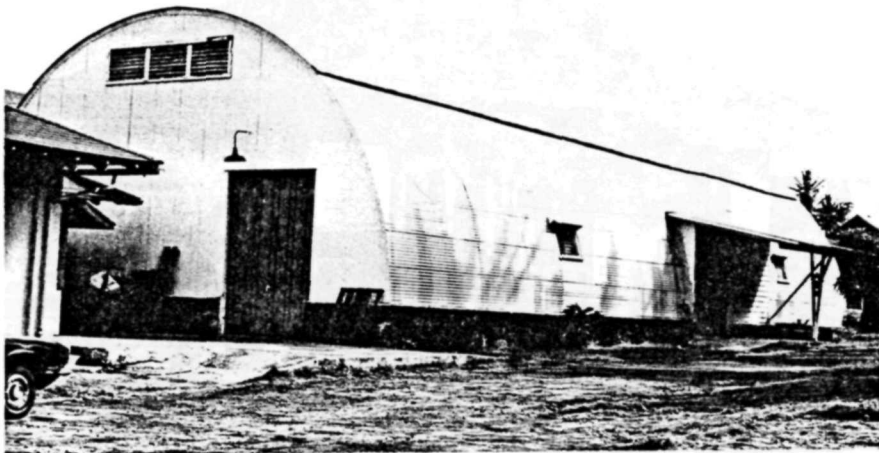
DESCRIPTION: The building is constructed of hollow tile and reinforced concrete, on a concrete foundation. A veranda which is recessed under the hip roof is located at the front (west side) of the structure. Large sections of the western wall of the building are plate-glass windows in wood frames. Windows on the other walls are metal frame (fixed and hinged sash) twelve-light. A loading platform, and storage rooms are located at the rear of the L-shaped structure. The building is in fair condition. Termite and rot damage to the eaves, rafters and decking should be repaired. The building should be fumigated, and its exterior painted.

SIGNIFICANCE: Typically 30s institutional architecture, but serves as the social focal point of the settlement, and the visual focal point of the industrial center.

MAINTENANCE COST: \$5,000

FUTURE MAINTENANCE COST: \$800/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 272-A

LOCATION: Industrial area, behind store

USE: Storage (food and supplies)

SIZE: Approx. 40 x 100

OWNERSHIP: State

DATE OF STRUCTURE: 1934

DESCRIPTION: The structure is a large quonset hut constructed on a stone and concrete foundation. The stone walls rise approximately three feet above grade. The metal structure members are supported by the stone walls. The semi-cylindrical structure is covered with corrugated metal. Two jalousie windows are located on each of the long sides of the building. Metal ventilation louvers are located near the roofline at the east and west sides of the building. Sliding metal and wood doors are located on the west and south sides of the building. A corrugated metal shed roof supported by wood posts extends from the south side of the structure and shelters the south door. The structure is used for storage, and seems to be in fair to poor condition. Termite damage should be repaired, and vegetation should be cleared. Holes in the masonry should be patched. The exterior should be painted.

SIGNIFICANCE: \_\_\_\_\_

MAINTENANCE COST: \$6300

FUTURE MAINTENANCE COST: \$800/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 273

LOCATION: Industrial area

USE: Gas station

SIZE: Approx. 16 x 22

OWNERSHIP: State

DATE OF STRUCTURE: 1934

DESCRIPTION: The building is constructed of hollow tile on a concrete slab foundation. The hip roof is finished with green composition shingles. The double hung wood frame windows (six-light) have been severely damaged by termites. The gas pump and a parking area (for filling up) are incorporated under the hip roof. The structure is used two days per week, and is in poor condition. Any termite damage (roof structure and windows) should be repaired. The spalling concrete of the two piers which support the roof over the pump should be repaired. The building should be re-roofed, painted and fumigated.

SIGNIFICANCE: Good spatial sequence with the store.

MAINTENANCE COST: \$6,300

FUTURE MAINTENANCE COST: \$300/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 288

LOCATION: Calvinist Mission

USE: Residence

SIZE: Approx. 1000 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1932

DESCRIPTION: The structure is a frame building of single wall construction.

The intersecting hip roofs are finished with composition shingles. The foundation consists of footings and posts. The corners of the building are finished with cornerboards. A girt encircles the structure, and is broken by the wood frames of the double-hung windows which project several inches from the exterior of the vertical plank wall. A water table surrounds the sole plate. The structure is occupied, and seems to be in good condition. Any termite damage should be repaired. The building should be fumigated.

SIGNIFICANCE: An extended McVeigh-type home.

MAINTENANCE COST: \$1300

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 290

LOCATION: Administrative-Industrial area

USE: Post Office and court house

SIZE: Approx. 2150 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1934

DESCRIPTION: The structure is a hollow tile building with a cement stucco exterior finish. The foundation is concrete. The hip roof extends beyond the walls of the building proper, over a portico which surrounds four sides of the building. The eave brackets are well-shaped in a gentle curve, and their shape is echoed in the brackets of the post capitals. A wind baffle of wood frame and sheets of corrugated metal shelters the post office business window. The building is fair condition, although termite damage should be repaired. The building should be re-roofed when the damaged decking and members are replaced. The structure should be fumigated and painted.

SIGNIFICANCE: \_\_\_\_\_

MAINTENANCE COST: \$9700

FUTURE MAINTENANCE COST: \$460/annum

DATE OF REPORT: January 17, 1977





STRUCTURE: Building 294

LOCATION: St. Francis Church

USE: Rectory

SIZE: Approx. 1200 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1930

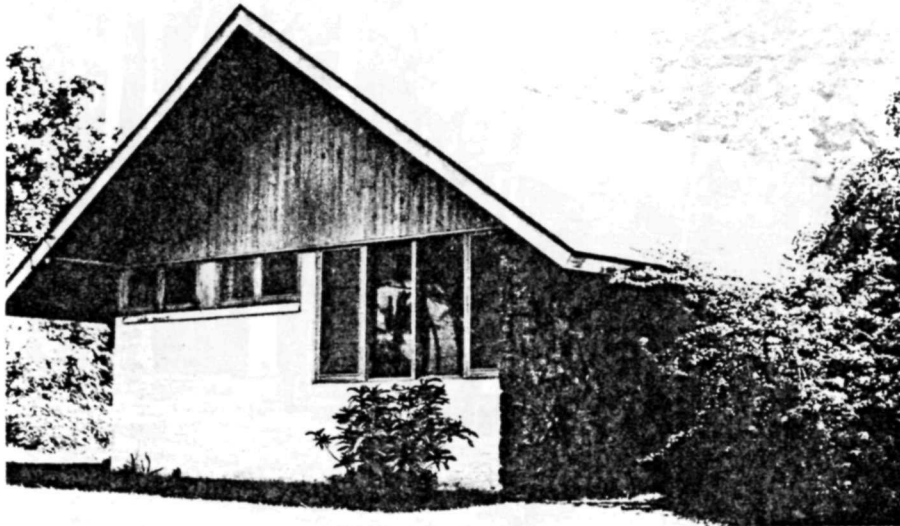
DESCRIPTION: The structure is a frame building of single wall construction, with a stone pad and post foundation. The hip roof is finished with composition shingles which have been applied over the original wood shingles. A wood porch with a shed roof is located at the front of the building. The corners of the structure are finished with cornerboards. A water table encircles the structure around the sole plate. A girt surrounds the building, and is broken by the wood frames of the double-hung windows which project several inches from the exterior of the vertical plank wall. A porch with a storage area underneath is located at the rear of the rectangular structure. The building is in fair condition. Any termite and rot damage should be repaired. The building should be fumigated and re-roofed.

SIGNIFICANCE: \_\_\_\_\_

MAINTENANCE COST: \$7,700

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 26, 1977



STRUCTURE: Building 65-296

LOCATION: Administrative area

USE: Library

SIZE: Approx. 26 x 38

OWNERSHIP: State

DATE OF STRUCTURE: 1965

DESCRIPTION: The building is a hollow tile, frame and stone masonry structure. The foundation is concrete. The gable roof is finished with composition shingles. The entire roof overhangs by approximately four feet. Tie rods and rafters are exposed in the interior. The gable ends are finished with vertical plank siding. The entrance to the building through a glazed double door is located on the west side of the building to the right of the stone wall. The windows are in wood frames and vary from fixed sash to jalousie. The structure is in fair condition. Exterior wood should be painted, and the building should be fumigated. A tree at the west side of the structure should be trimmed to prevent further damage to the roof at that spot. The roof should be repaired.

SIGNIFICANCE: \_\_\_\_\_

MAINTENANCE COST: \$1540

FUTURE MAINTENANCE COST: \$300/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 638

LOCATION: Across from gas station, Industrial center

USE: Pavilion

SIZE: Approx. 14 x 20

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

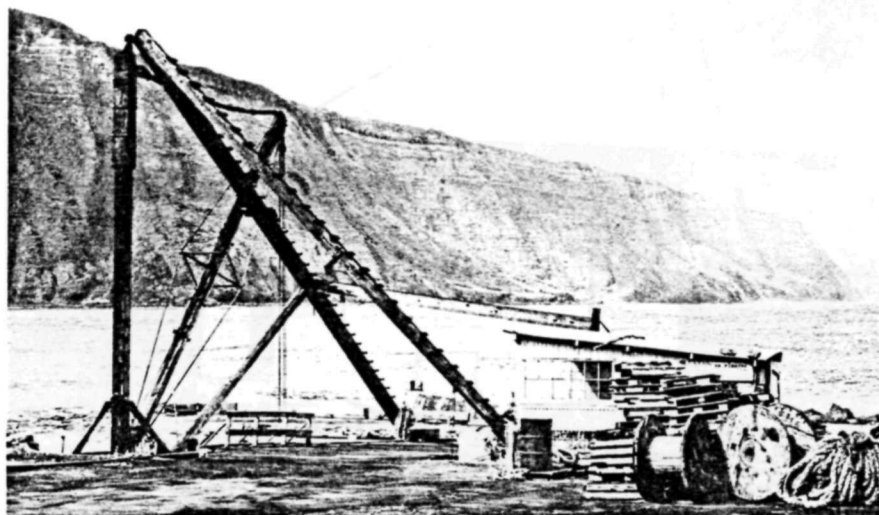
DESCRIPTION: The structure consists of four concrete piers which support a wooden hip roof. The structure rests on a thick concrete slab. The roof is finished with wood shingles. The concrete piers closest to the ocean are spalling badly, so that the re-bars are exposed. The columns should be repaired, and the structure should be re-roofed.

SIGNIFICANCE: \_\_\_\_\_

MAINTENANCE COST: \$5,000

FUTURE MAINTENANCE COST: \$150/annum

DATE OF REPORT: January 17, 1977



STRUCTURE: Building 639

LOCATION: Industrial Area

USE: Winch shed

SIZE: Approx. 14 x 14

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

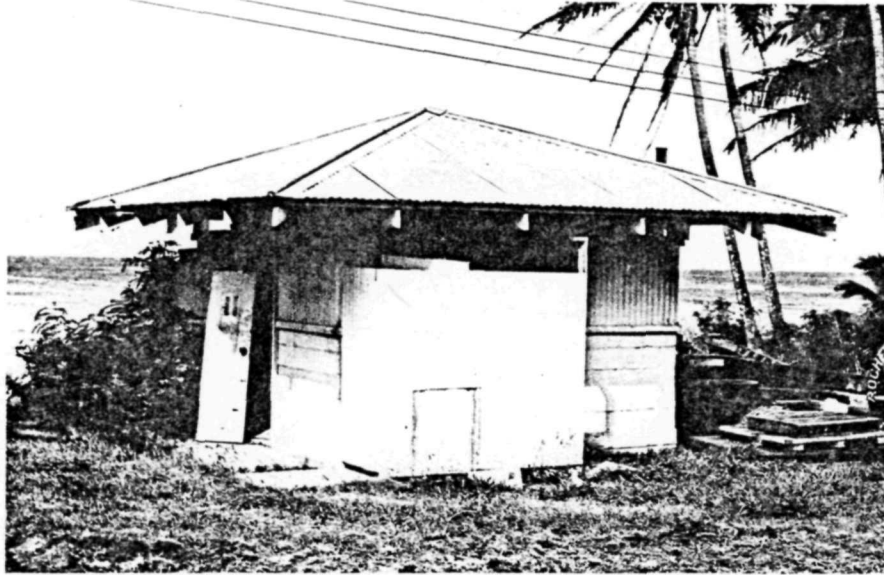
DESCRIPTION: The structure is a hollow tile and frame building. The frame section is covered with corrugated metal, as is the shed roof. The building has a partial stone foundation. The south side of the structure is completely open. The building houses the hoisting mechanism for unloading the barge that comes in twice a year. The building is in fair to poor condition. Corners of the roof are held down by rocks. The winch is constantly battered by the salt spray, and sometimes the ocean during high surf.

SIGNIFICANCE: None. Better protection for the winch should be constructed in the future. The entire system will need replacement because of the tremendous weathering.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 18, 1977



STRUCTURE: Building 640

LOCATION: Industrial area

USE: Comfort station

SIZE: Approx. 12 x 12

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The building is of hollow tile and frame construction. The hip roof is finished with corrugated metal. The lower wall sections are hollow tile; the upper sections are corrugated metal. Screened ventilation sections are located at the top plate. The building is divided into three sections - for male patients, female patients and kokua. Frame and corrugated metal baffles are located at the entrances to the patient areas. The door to the kokua section is off its hinges and is resting next to the door frame. The structure is in deteriorated condition. With minor maintenance, the building could be put back into working order.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate done

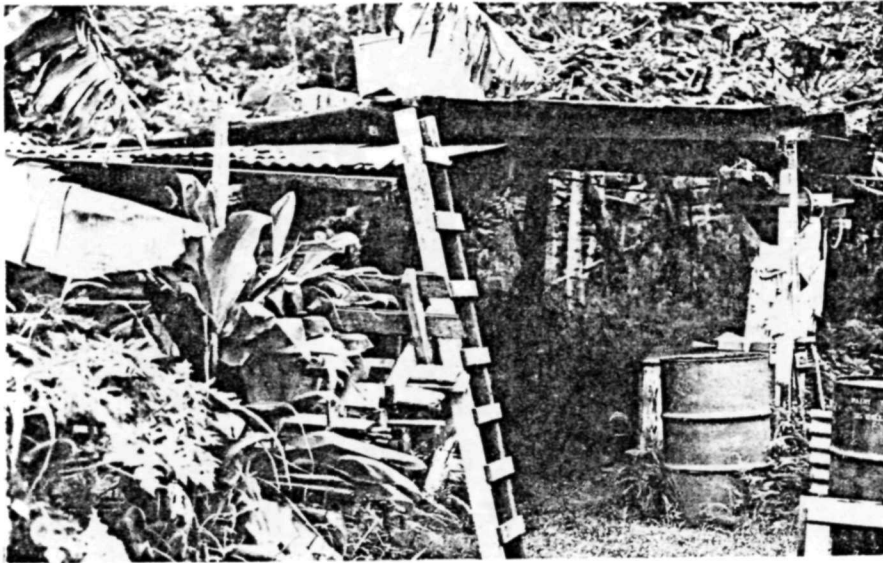
FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 18, 1977



# **CONSTRUCTION CAMP/PASCHOAL HALL**

**(Private Structures)**



STRUCTURE: Building 650

LOCATION: To rear of construction camp

USE: Storage building

SIZE: Approx. 10 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

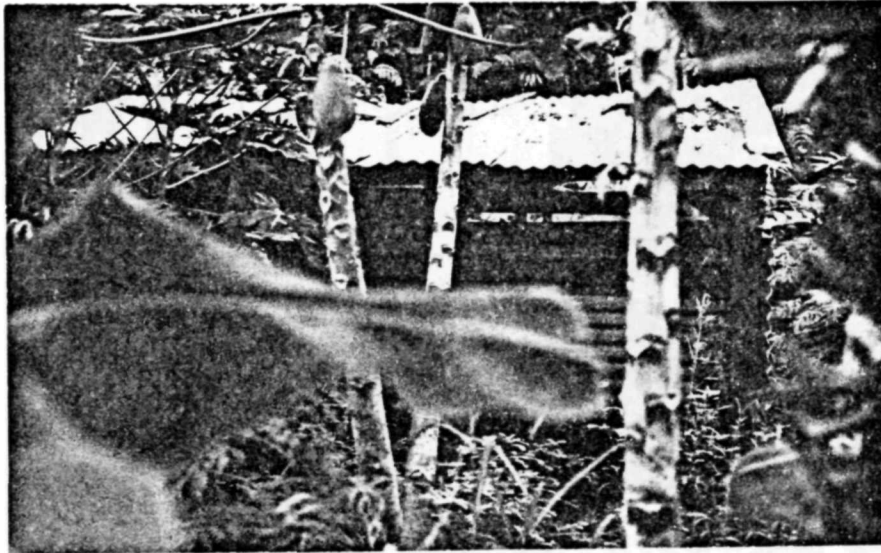
DESCRIPTION: The structure is a wood frame, with multiple gable and shed roofs which are covered with corrugated metal. The posts of the building seems to rest directly in the ground, with no visible foundation. The structure is L-shaped. The building is used, and is in poor condition.

SIGNIFICANCE: Part of a small, private living area occupied by a worker who raises small crops of vegetables and fruits.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 651

LOCATION: To rear of construction camp

USE: Pig pen

SIZE: Approx. 10 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a wood frame, with a shed roof covered with corrugated metal. Walls are half-open, and half covered with wood strips and sheets of corrugated metal. The structure is in poor condition, but the pigs like it just fine.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976



STRUCTURE: Building 652

LOCATION: To rear of construction camp

USE: Residence

SIZE: Approx. 20 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a shed roof which is covered with corrugated metal. The building seems to have been constructed of recycled wood. The foundation consists of concrete footings and wood posts. A veranda is located at the front (west) of the structure. The building is occupied, and in fair to poor condition.

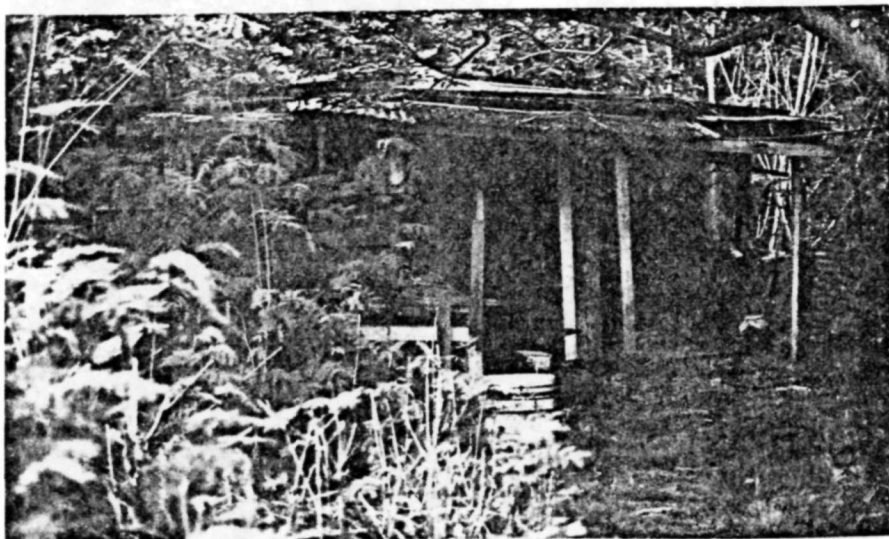
SIGNIFICANCE: None, architecturally, but the building is an example of the vanishing rural culture and way of life.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 12, 1976





STRUCTURE: Building 653

LOCATION: Behind construction camp

USE: Former residence (abandoned)

SIZE: Approx. 30 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure consists of the remains of a frame building,  
with corrugated metal and asbestos shed and gable roofs. The building  
is in ruins, and is no longer used.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 654

LOCATION: Behind construction camp

USE: Former residence (abandoned)

SIZE: Approx. 20 x 30 OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.  
The multiple shed and gable roofs are finished with corrugated metal  
and rolled composition roofing material. The structure seems to have  
been built of recycled materials, and is not in use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 655

LOCATION: Construction camp

USE: Garage and storage

SIZE: Approx. 30 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

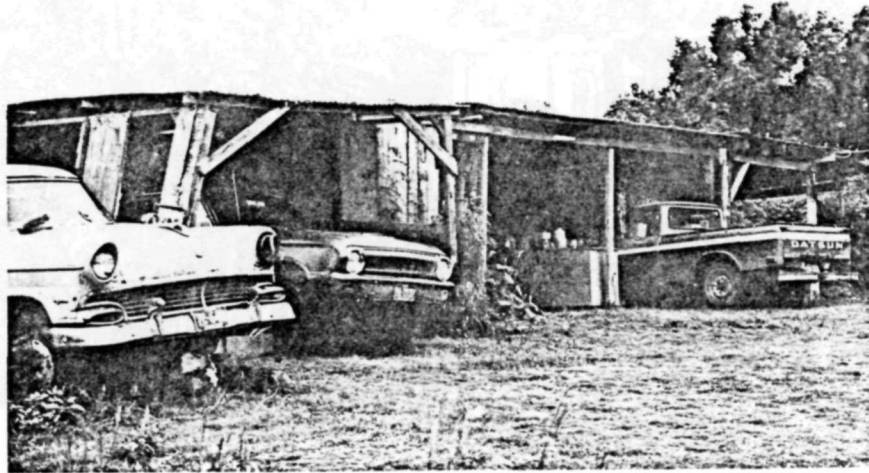
DESCRIPTION: The structure consists of a wood frame, with a corrugated metal shed roof. The foundation consists of concrete footings. The structure is used, and is in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 658

LOCATION: Construction camp

USE: Garage and storage

SIZE: Approx. 20 x 60

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a wood frame building, open on two sides, with a corrugated metal shed roof. A frame shed, with a shed roof (finished with rolled composition roofing material) is attached to the rear of the building. The structure is haphazardly divided into areas of storage rooms, and vehicle storage areas. The building seems to have been constructed of recycled materials. The structure is in use, and in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 659

LOCATION: Construction camp

USE: Storage ( and residence?)

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.  
The lower section of the building is covered with sheets of corrugated  
metal. The upper section is vertical plank siding. The rounded roof is  
covered with corrugated metal. The structure is used, and is in poor  
condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 660

LOCATION: Construction camp

USE: Garage and storage

SIZE: Approx. 15 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a woodframe, with a shed roof covered with corrugated metal. The building is divided into four garage spaces for cars. One side of the building is completely open. The other three sides are covered haphazardly with plywood and corrugated metal. The structure is still in use, and is in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 662

LOCATION: Kamehameha Street

USE: Garage

SIZE: Approx. 20 x 25

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

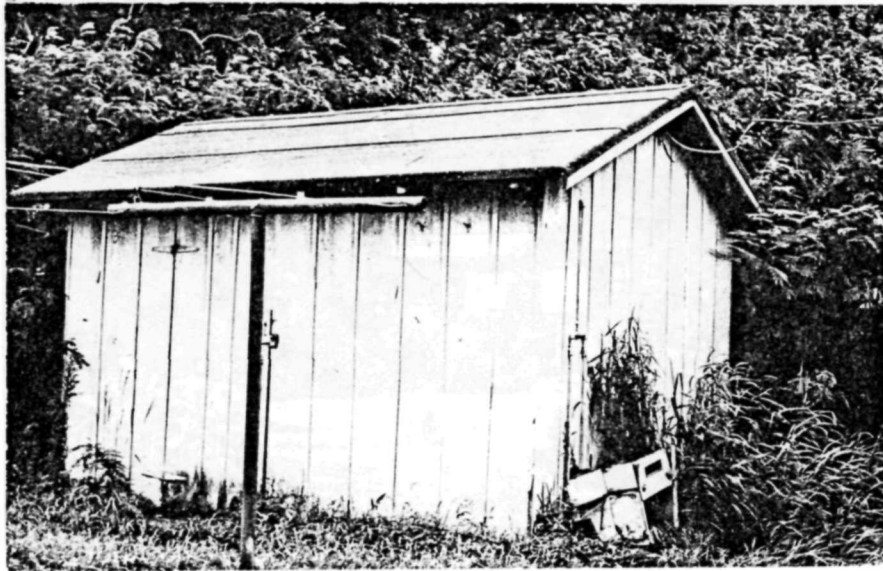
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The shed roof is covered with corrugated metal. The foundation is concrete. The west side of the structure which has no wall is open and serves as the entrance to the garage. The structure is used, and is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 663

LOCATION: Kamehameha Street

USE: Wash house

SIZE: Approx. 12 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown (prior to 1939?)

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The gable roof is finished with green rolled composition roofing material. The structure is a concrete slab foundation. The building is used, and in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 664

LOCATION: Kamehameha Street

USE: Storage

SIZE: Approx. 10 x 12

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction,  
with an exterior finish of board and batten. The gable roof is finished  
with rolled composition roofing material. The structure is still in use,  
but in very deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976

# CONSTRUCTION CAMP/PASCHOAL HALL

(State-Owned Structures)





STRUCTURE: Building 55

LOCATION: Kamehameha Street

USE: Residence

SIZE: Approx. 900 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1938

DESCRIPTION: The structure is a frame building of single wall construction, with a stone pad and post foundation. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. One chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. A girt encircles the structure, and is broken by the wood frames of the double-hung windows which project several inches from the exterior of the vertical plank wall. The hip roof is finished with composition shingles. A porch with a shed roof is located at the rear of the rectangular structure. The building is occupied and in fair condition. Termite damage should be repaired. The structure should be fumigated and painted. Vegetation should be cleared from the base of the building to discourage further termite and rot deterioration.

SIGNIFICANCE: One of many

MAINTENANCE COST: \$7100

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 26, 1977





STRUCTURE: Building 56

LOCATION: Corner Kamehameha and Beretania

USE: Residence

SIZE: Approx. 800 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1938

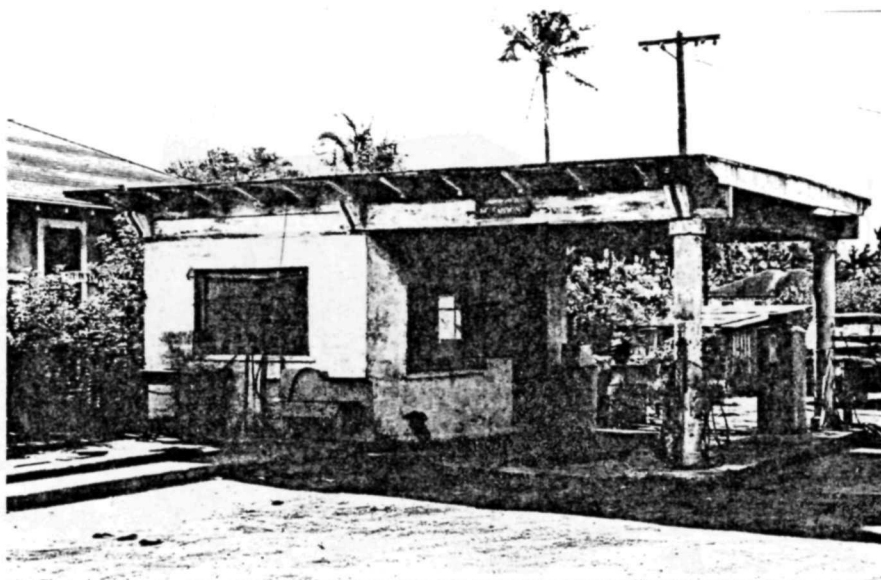
DESCRIPTION: The structure is a frame building of single wall construction, with a concrete pad and post foundation. Wood steps provide access to the recessed corner porch which is incorporated under the hip roof. The corners of the building are finished with cornerboards. A girt encircles the structure, and is broken by the wood frames of the double-hung windows. The wall is composed of vertical plank siding. The hip roof is finished with composition shingles. A partially enclosed porch with a shed roof is located at the rear of the L-shaped structure. The building is occupied, and in good condition. Termite and rot damage (particularly to the roof, where the wood shingles were used as decking for the composition shingles) should be repaired. The building should be fumigated.

SIGNIFICANCE: One of many . . . .

MAINTENANCE COST: \$6,100

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 26, 1977



STRUCTURE: Building 258

LOCATION: Maintenance yard, next to construction camp

USE: Gas station (temporarily out of commission)

SIZE: Approx. 20 x 30 OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The building is a hollow tile structure with a flat (wood frame).

The building's exterior finish is cement stucco. A portico at the front (north) of the structure shelters the gas pump and the drive-in section.

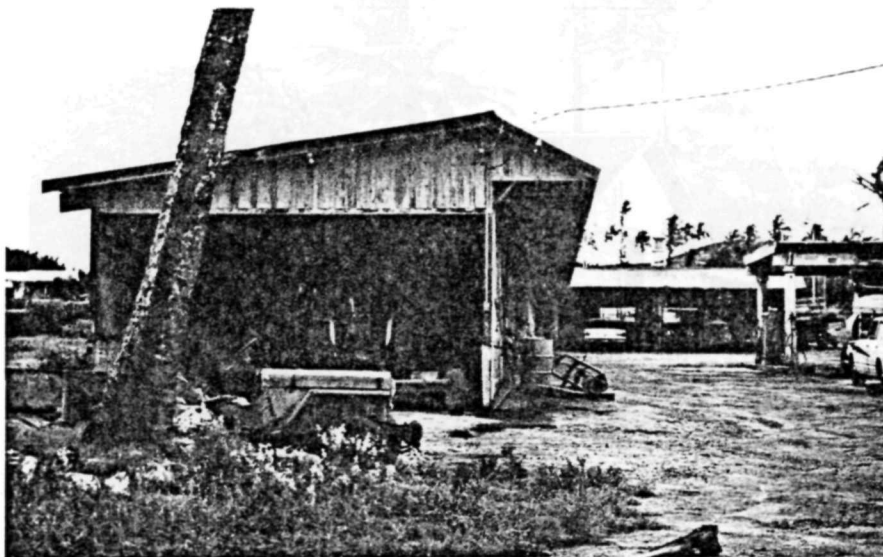
The columns supporting the portico are simple, round pillars, with circular capitals. The windows are both metal and wood frame. The structure is rapidly deteriorating. The building houses the air compressor and other equipment. The building should be fumigated, re-roofed, cleaned and painted.

SIGNIFICANCE: None, but the building does have a funny classical feeling.

MAINTENANCE COST: \$2180

FUTURE MAINTENANCE COST: \$200/annum

DATE OF REPORT: January 26, 1977



STRUCTURE: Building 259

LOCATION: Construction camp

USE: Storage (vehicles and other)

SIZE: Approx. 3800 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The foundation is concrete. The shed roof is covered with corrugated metal. The building is divided into open stalls, most of which are twenty feet wide. The structure is in poor condition. One section of the north wall has been broken through (practically driven through) and should be repaired. Termite damage should be repaired. Vegetation should be cleared from around the structure to prevent further damage from termites and rot. The building should be painted and fumigated.

SIGNIFICANCE: None

MAINTENANCE COST: \$10,050

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 26, 1977



STRUCTURE: Building 300

LOCATION: Beretania Street, next ot Paschoal Hall

USE: Craft and storage building

SIZE: Approx. 1000 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1931

DESCRIPTION: The structure is a frame building of single wall construction.

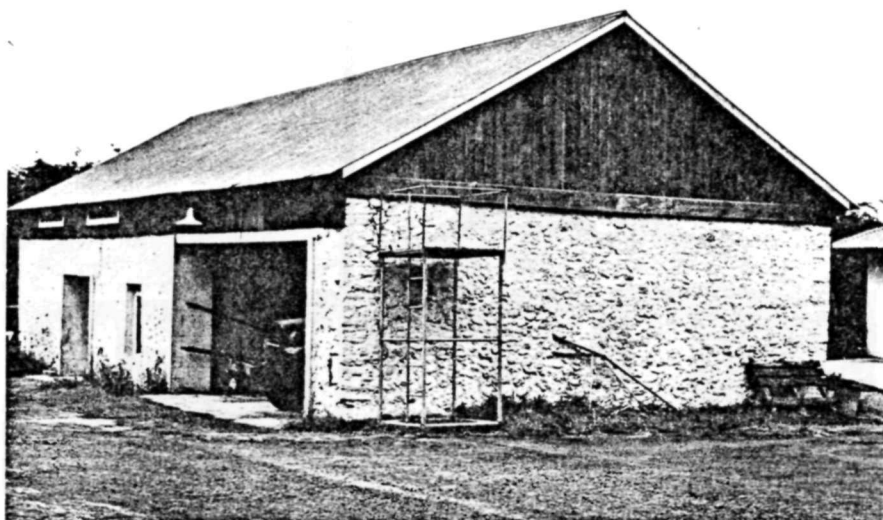
Some of the siding is vertical plank, some is board and batten. The foundations vary from concrete slabs to stone or concrete footings and wood posts. The multiple roofs are predominantly gable, finished with wood shingles at the front of the structure and corrugated metal and rolled composition roofing at the rear. The building is irregularly shaped. Most of the structure is surrounded by a broken girt. Corners are finished with corner boards. The wood frame windows vary from double-hung twelve light to fixed sash picture windows. The structure receives intermittent use, and is in poor condition. The building could easily be made serviceable for many more years if termite damage were repaired and the structure was fumigated. Vegetation should be cleared from the base and the roof. The building should also be painted.

SIGNIFICANCE:

MAINTENANCE COST: \$6,300

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 301

LOCATION: Beretania Street

USE: Vehicle storage and gneral storage

SIZE: Approx. 38 x 75

OWNERSHIP: State

DATE OF STRUCTURE: Probably 1853

DESCRIPTION: The building is a stone masonry structure (lime mortar) with a gable roof. The roof is finished with corrugated metal. The gable ends and a two-foot section at the top of the wall are finished with board and batten siding. A large open stall for vehicle storage, located at the southeast corner, has a concrete slab floor. A door in the west wall, and a window in the south wall are finished with old wood lintels. Quoins, visible through the paint, articulate the four corners of the rectangular structure. The building is in poor condition. The roof structure should be stabilized and the building should be fumigated to prevent further damage to wood. The structural cracks in the masonry of the southeast and southwest corners will eventually need stabilization. The building has been altered (interior has been divided, concrete openings framed openings have been made of the south wall. Probably an old doorway was located on the Maui side, but it has since been filled in).

SIGNIFICANCE: Presently historical. Too altered at the present time for any architectural significance.

MAINTENANCE COST: \$3000

FUTURE MAINTENANCE COST: ?

DATE OF REPORT: January 27, 1977





STRUCTURE: Building 302 and 303

LOCATION: Beretania Street

USE: Jail, Police Headquarters

SIZE: 24 x 60 (302) & 26 x 68 (303) OWNERSHIP: State

DATE OF STRUCTURE: 1932

DESCRIPTION: The two structures are joined together by an intersecting roof and a concrete slab breezeway. Both structures are concrete, with concrete foundations. The hip roofs (with gablets) are covered with corrugated metal. The buildings are connected in a T-shape. Building 303 to the east serves as police headquarters. Windows are wood frame double hung (twelve light). Building 302, the jail, is to the west. Metal bars are located on all the windows. Police headquarters is used daily. The jail has not been used for an extended period of time. The structures are in fair to poor condition. Any termite damage (window frames, roof structure, etc.) should be repaired, as should the spalling concrete. The roofs and exterior walls should be painted. The buildings should be fumigated. Vegetation should be cleared.

SIGNIFICANCE: No architectural significance.

MAINTENANCE COST: \$13,040

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 304

LOCATION: Beretania Street

USE: Social Hall and Movie House

SIZE: Approx. 6000 sq. ft.

OWNERSHIP: State

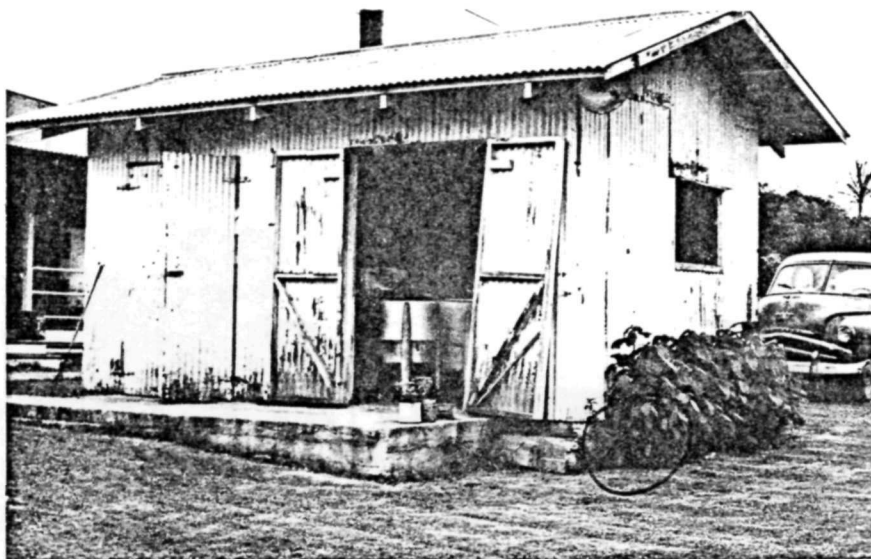
DATE OF STRUCTURE: 1920

DESCRIPTION: The structure is a 2 story building of single wall construction, with a foundation of concrete piers. The multiple roofs, finished with green composition shingles, are hip roofs usually with gables. The facade of the structure is symmetrical. The east and west sides differ slightly (additions and alterations?) although the windows are of the same type, size and spacing on each of those walls. A veranda, sheltered by a hip roof which intersects the main roof, runs the length of the front (south) of the structure and serves as the main entrance. A diamond-patterned railing and chamfered posts and pilasters articulate the edges of the veranda. Other entrances are located at the middle of the east and west sides. The interior consists of a large portion of empty floor space, several storage rooms, and an auditorium with tiers of seating which rise up to the balcony. The audience area was originally separated so that kokua sat in the balcony, separated from the patients by a railing. Access to the balcony is by means of an exterior stairway from the front porch (or now through the tiers of seating). The structure is in fair to poor condition. Termite damage should be repaired. The building should be re-roofed, fumigated and painted (interior and exterior). SIGNIFICANCE: Architecturally, the building seems to have been slightly modified since its construction (stairways, minor addition, etc.); a formal, symmetrical building which has been slightly adapted to fit needs better. Warrants preservation.

MAINTENANCE COST: \$48,700

FUTURE MAINTENANCE COST: \$2,000/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 656

LOCATION: Construction camp

USE: Wash house

SIZE: Approx. 10 x 18

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction. Walls and gable roof are covered with corrugated metal. The foundation is a concrete slab. The building has two double doors, which open out to the south. The structure is in very deteriorated condition. The roof is rusted and leaking. The doors are off their hinges. The pipes have rusted. The building is still in use.

SIGNIFICANCE: None. Removal of this structure (when function is no longer needed) would be an asset to the community.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 657

LOCATION: Construction camp

USE: Dormitory

SIZE: Approx. 5,600 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1950

DESCRIPTION: The structure consists of three quonset huts which have been joined together in an H-shape. The quonsets' foundations are concrete footings and wood posts. Some of the posts have been eaten away by termites, so the remainders dangle in the air a foot above the concrete pads. Covered porches with shed roofs are located on both sides of the central quonset. Dormer window with shed roofs extend from the long sides of all the quonsets. The buildings are in very deteriorated condition and should be demolished.

SIGNIFICANCE: None. Removal would be an asset to the settlement.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 26, 1977



STRUCTURE: Building 657-A

LOCATION: Construction camp

USE: Residence (part of dormitory)

SIZE: Approx. 26 x 40

OWNERSHIP: State

DATE OF STRUCTURE: Unknown (1950?)

DESCRIPTION: The structure is a frame building of single wall construction. The foundation is a series of concrete footings. The intersecting hip roofs of the L-shaped structure are finished with corrugated metal. A broken girt encircles the structure. The corners are finished with cornerboards. A shed roof (extension of the hip) covers a porch located on the south side of the building. The structure is occupied, and in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 27, 1977



# **KAMEHAMEHA STREET to MORMAN CHURCH**

**(Private Structures)**



STRUCTURE: Building 257

LOCATION: Kamehameha Street

USE: Church (LDS)

SIZE: Approx. 25 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building (plywood and batten exterior finish?) with a concrete foundation. The gable roof is finished with grey composition shingles. The structure is used intermittently, and seems to be in good condition.

SIGNIFICANCE: None -severely contrasts with the gentle Hawaiian vernacular of Kalaupapa.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 257-A

LOCATION: Kamehameha Street

USE: Parish Hall for Mormon Church

SIZE: Approx. 25 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a foundation consisting of concrete pads. The gable roof is finished with grey composition shingles. A shed roof shelters a veranda at the west gable end of the building. The shed roof is also covered with composition shingles. The walls are vertical wood siding, with horizontal siding filling in the gable ends. A round window in the west gable end is divided by horizontal and vertical glazing bars in a decorative pattern (Japanese?). The horizontal and vertical interplay is enclosed in the porch railing. The structure is in fair condition, and is used intermittently.

SIGNIFICANCE:

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 661

LOCATION: Next to residence 25, behind Mormon Church

USE: Garage and storage building

SIZE: Approx. 30 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

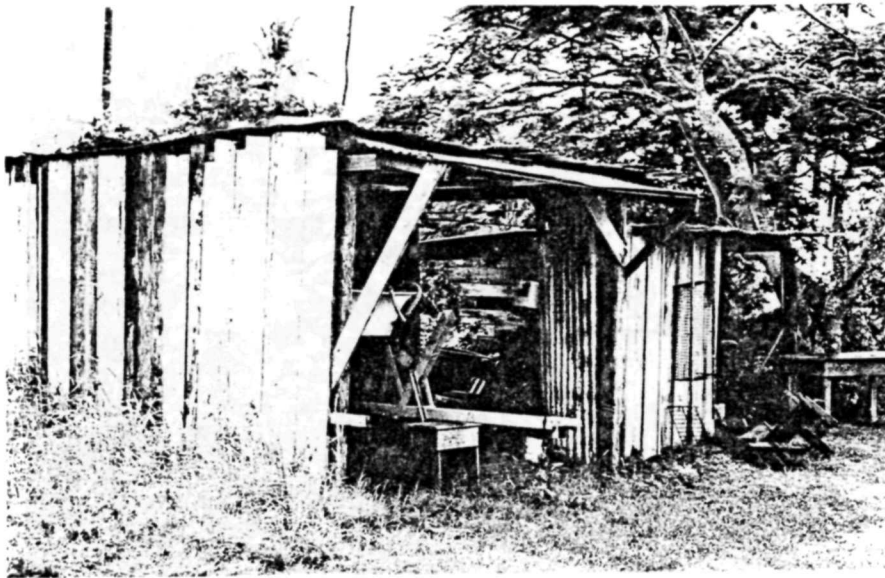
DESCRIPTION: The structure is a frame building of single wall construction, with vertical plank siding (part board and batten). The building is used, and is in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 665

LOCATION: Behind Mormon Church

USE: Pig sty and garage

SIZE: Approx. 25 x 25

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure built of recycled materials, consists of several  
sheds constructed one against the other. The shed roofs are covered with  
corrugated metal. The foundations are inadequate - is used, and is in  
very deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 666

LOCATION: Behind Mormon Church

USE: Abandoned shed (garage?)

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

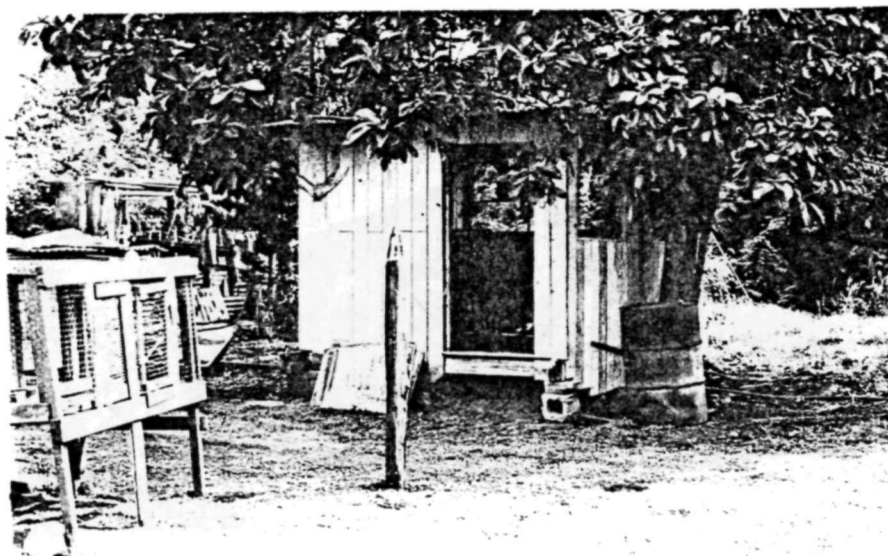
DESCRIPTION: The structure is a frame building of single wall construction, with vertical plank siding. The gable roof is finished with the remains of some rolled composition roofing material. The structure is overgrown and very deteriorated.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 667

LOCATION: Behind Mormon Church

USE: Chicken shed

SIZE: Approx. 7 x 7

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction. The foundation consists of concrete blocks. The walls are vertical plank siding. The shed roof is covered with corrugated metal. The structure is frequently occupied by chickens, and is in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 668

LOCATION: Kamehameha Street

USE: Garage

SIZE: Approx. 30 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

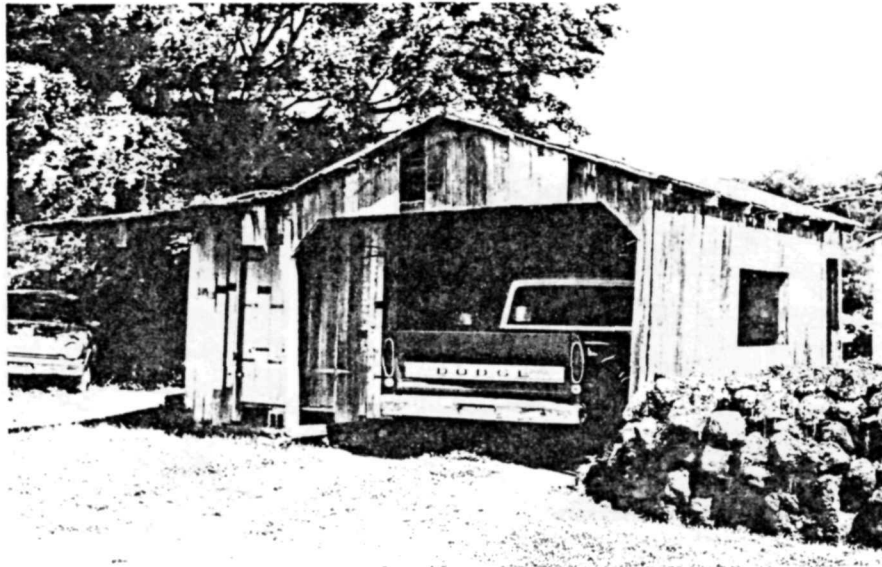
DESCRIPTION: The structure is a frame building of single wall construction, with vertical plank siding. There is no visible foundation. The gable roof is finished with rolled composition roofing. The structure is large enough to shelter two vehicles. Present use is unknown. The building is in an intermediate stage of collapse.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 669

LOCATION: Kamehameha Street

USE: Garage

SIZE: Approx. 22 x 25

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with foundations of concrete pads and blocks. The main garage section has a gable roof, and the connected carport area to the north has a shed roof. Both roofs are finished with green rolled composition roofing material. The building is in poor condition, due to rot and termite deterioration.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 670

LOCATION: Kamehameha Street

USE: Storage building

SIZE: Approx. 10 x 12

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction,  
with a board and batten exterior. The foundation consists of stone pads.  
The gable roof is finished with rolled composition roofing material. The  
structure is in fair to poor condition, due to rot and termite deterioration.

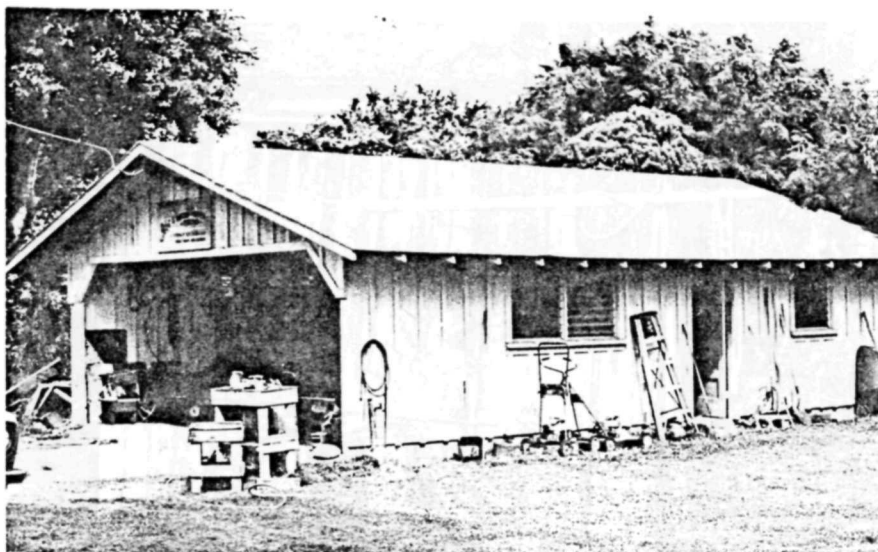
SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976

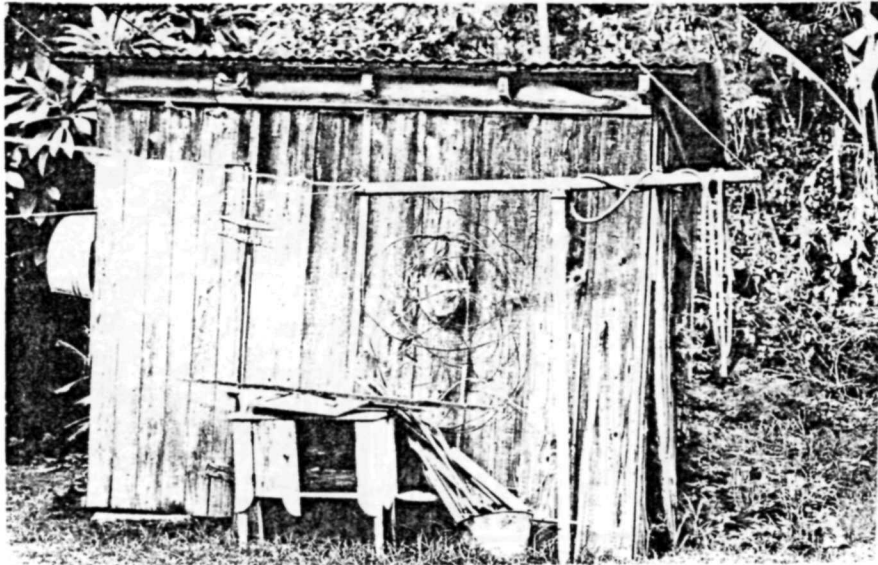




STRUCTURE: Building 672  
LOCATION: Kamehameha Street  
USE: Garage  
SIZE: Approx. 20 x 40 OWNERSHIP: Private  
DATE OF STRUCTURE: Unknown  
DESCRIPTION: The structure is a frame building of single wall construction (board and batten). The foundation is concrete. The gable roof is finished with grey composition shingles. The west facade is completely open. The building has jalousie windows. The structure is in use ("Ike's Auto - Tune-up - Repair Service"), and in good condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate  
FUTURE MAINTENANCE COST: No estimate  
DATE OF REPORT: October 14, 1976



STRUCTURE: Building 673

LOCATION: Kamehameha Street

USE: Storage building

SIZE: Approx. 6 x 8

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

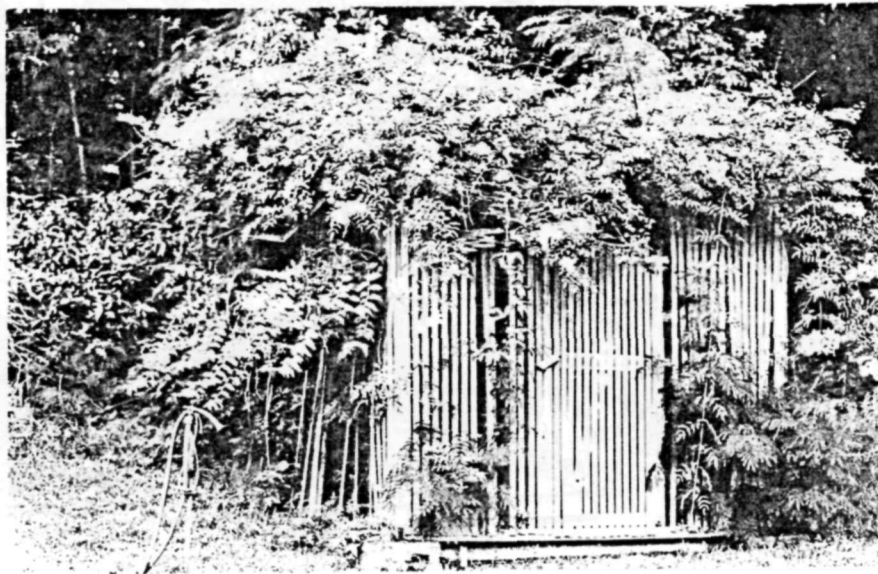
DESCRIPTION: The structure is a frame building of single wall construction (board and batten). The foundation is stone. The shed roof is covered with corrugated metal. The structure is leaning, and about to collapse. The building is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 674

LOCATION: Kamehameha Street

USE: Abandoned hot house

SIZE: Approx. 7 x 9

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame, with perforated walls and roof of  
lath-size wood strips. The foundation is wood planks and concrete blocks.  
The structure has been completely taken over by plants, and is in very  
deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 675

LOCATION: Kamehameha Street

USE: Chicken coop

SIZE: Approx. 10 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

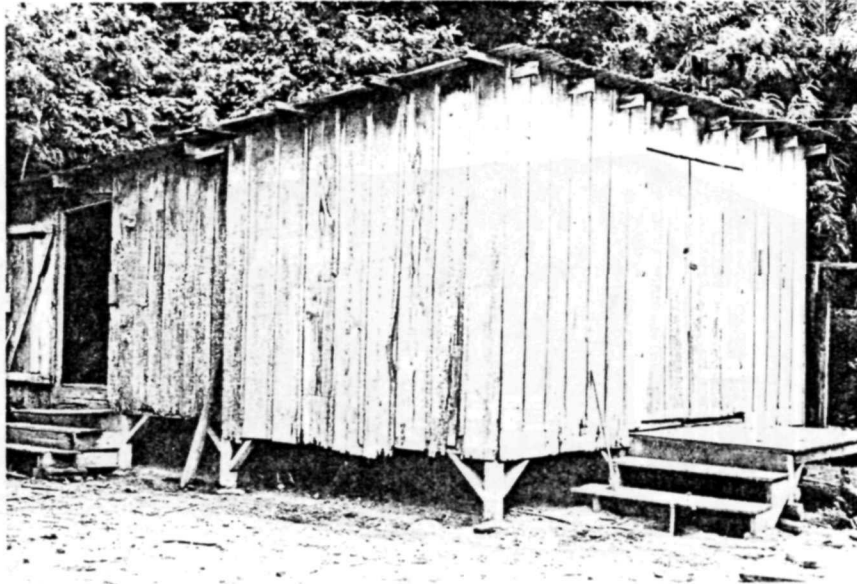
DESCRIPTION: The structure is a wood frame building of single wall construction, with a corrugated metal shed roof. One of the walls is latticework. Most other wall sections are vertical plank siding. The structure is in poor condition. (Just above rooster in photograph - the structure to the right is a separate building).

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 676

LOCATION: Kamehameha Street

USE: Chicken coop

SIZE: Approx. 15 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.  
The walls are board and batten and vertical plank siding. The foundation  
are stone pads and posts. The shed roof is covered with corrugated metal.  
The building has steps up to doorways on the north and west sides. The  
structure is full of chickens, and in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 678

LOCATION: Kamehameha Street

USE: Garage and storage

SIZE: Approx. 15 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

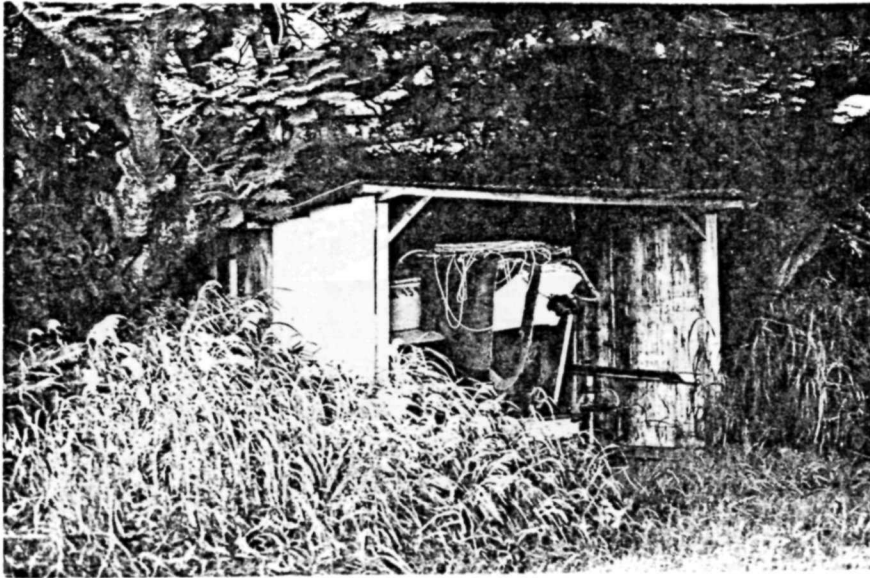
DESCRIPTION: The structure is a frame building of single wall construction. The foundation consists of concrete slab, and concrete and stone footings. The siding is board and batten. The shed roof is covered with corrugated metal. The building is used and in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 679

LOCATION: Kamehameha Street

USE: Boat garage

SIZE: Approx. 12 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

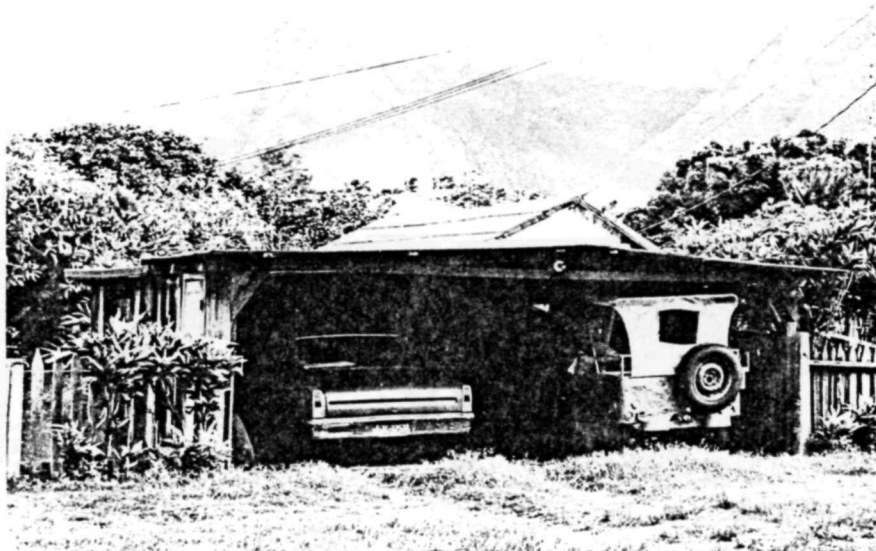
DESCRIPTION: The structure is a frame building of single wall construction, with vertical plank siding (recycled from other structured). The foundation consists of concrete pads. The shed roof is covered with corrugated metal. The building is used, and is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 680

LOCATION: Kamehameha Street

USE: Garage

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

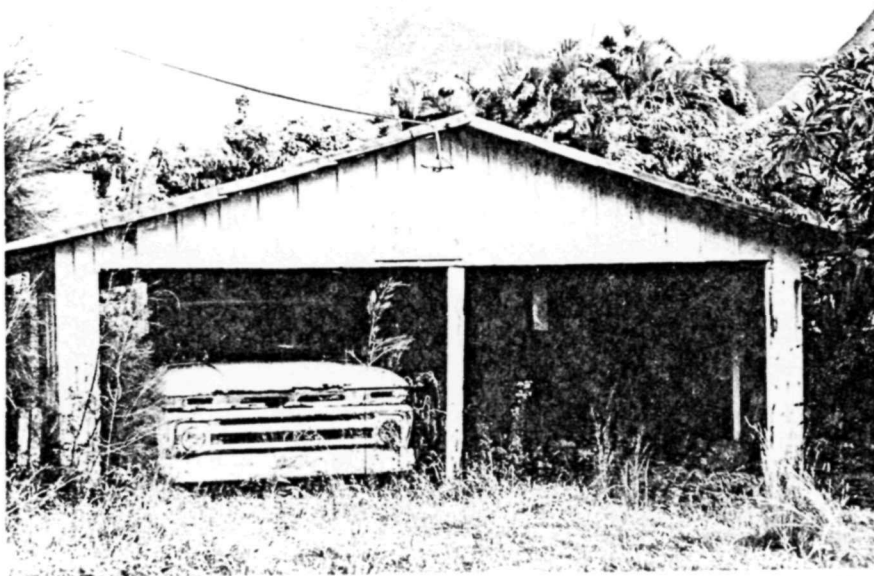
DESCRIPTION: The structure is a frame building of single wall construction.  
The foundation is obscured by vegetation. The floor is wood, and very  
deteriorated. The shed roof is finished with rolled composition roofing,  
and partially covered with corrugated metal. The structure seems to have  
been made of recycled lumber. The side facing west is completely open.  
The structure is in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 681

LOCATION: Kamehameha Street

USE: Garage

SIZE: Approx. 20 x 24

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The gable roof is finished with rolled composition roofing material. The foundations are obscured by vegetation. The south side of the structure is the entrance to the structure, and it has no doors. The garage is divided into two vehicle stalls. The building shows some signs of sagging, and is in generally poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976

# **KAMEHAMEHA STREET to MORMON CHURCH**

**(State—Owned Structures)**





STRUCTURE: Building 1

LOCATION: Kamehameha Street

USE: Residence

SIZE: Approx. 900 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1931

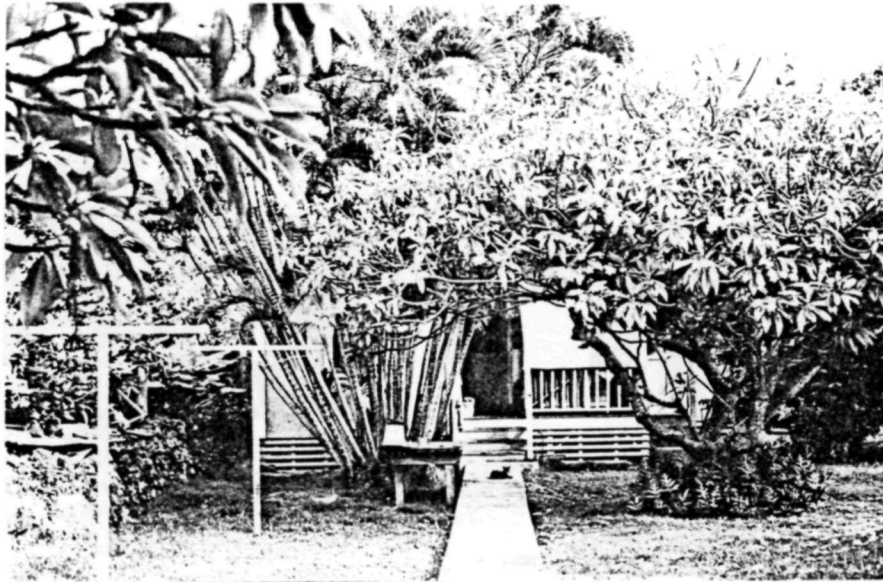
DESCRIPTION: The structure is a frame building of single wall construction, with a foundation consisting of footings and posts. The exterior finish is board and batten. The combination shed and gable roof is finished with rolled composition roofing material, which has been applied over wood shingles. The wood frame windows are double hung (twelve-light). A recessed porch is located on the west side of the building. The north wall of the building is finished with wood shingles (same as Building 20). The structure is in poor condition, and is occupied. Vegetation should be cleared from the base of the structure, and termite and rot damage repaired. The structure should be fumigated, painted, and re-roofed with cedar shingles.

SIGNIFICANCE: \_\_\_\_\_

MAINTENANCE COST: \$17,630

FUTURE MAINTENANCE COST: \$500

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 2

LOCATION: Kamehameha Street

USE: Residence

SIZE: Approx. 800 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1931

DESCRIPTION: The structure is a frame building of single wall construction, with a foundation consisting of stone footings and wood posts. The hip roof is finished with red composition shingles. The walls are simply vertical plank siding (with no girt). The original wood shingles remain under the composition shingles. A recessed corner porch is incorporated under the hip roof in the southwest corner of the structure. A shed and wash house built on a concrete slab, are located at the rear of the building. The structure is in fair condition, although it should be painted and fumigated. Vegetation should be cleared from the base of the structure, and termite damage should be repaired.

SIGNIFICANCE: \_\_\_\_\_

MAINTENANCE COST: \$3720

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 3

LOCATION: Kamehameha Street

USE: Residence

SIZE: Approx. 500 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: Probably 1933, moved from Mc Veigh in 1965

DESCRIPTION: The structure is a one-story building of single wall construction with a board and batten exterior. The foundation consists of concrete footings and wood posts. The hip roof is finished with composition shingles. A small wood porch and a wash house, constructed on a concrete slab and with a shed roof, are located on the south side of the structure. The wood frames of the 12-light double hung windows project several inches from the exterior wall. The structure is occupied and in fair condition. Any termite damage should be repaired. The building should be fumigated and painted.

SIGNIFICANCE: \_\_\_\_\_

MAINTENANCE COST: \$1940

FUTURE MAINTENANCE COST: \$400

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 4

LOCATION: Kamehameha Street

USE: Residence

SIZE: Approx. 700 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1931

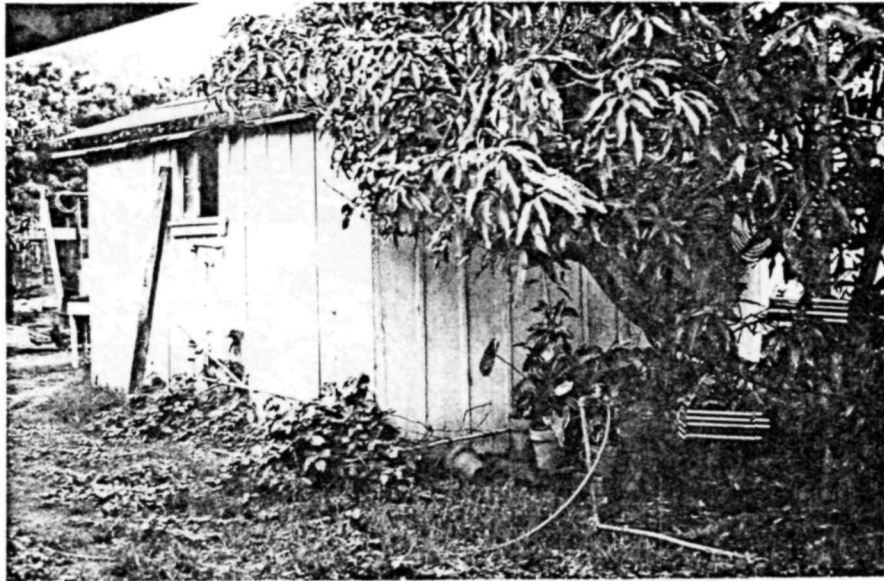
DESCRIPTION: The structure is a frame building of single wall construction, with a foundation consisting of stone pads and wood posts. The exterior finish is board and batten. The combination of gable and shed roofs is finished with rolled composition roofing material. The wood frame windows are double hung (twelve light). A recessed front porch is incorporated under the shed roof in the south west corner of the structure. The building is occupied and in fair condition. Termite damage should be repaired, and vegetation should be cleared from the base of the building to prevent further rot and deterioration. The building should be fumigated, painted, and re-roofed.

SIGNIFICANCE: \_\_\_\_\_

MAINTENANCE COST: \$5800

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 4-A

LOCATION: Kamehameha Street

USE: Wash house or storage building

SIZE: Approx. 10 x 12 OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The gable roof is finished with rolled composition roofing material. The foundation consists of stone footings and wood posts. The structure is in poor condition, due mainly to termites.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976







STRUCTURE: Building 7

LOCATION: Kamehameha Street

USE: Residence

SIZE: Approx. 800 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1931

DESCRIPTION: The structure is a frame building of single wall construction, with foundations consisting of stone footings and posts. Wood steps provide access to the recessed corner porch which is incorporated under the hip roof. A chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with corner boards. A girt encircles the structure, and is broken by the wood frames of the double plank wall. The hip roof is finished with composition shingles. A partially enclosed wash house with a shed roof and a concrete slab foundation is located at the rear of the structure. The building is occupied and in fair condition. Termite damage should be repaired. The building should be fumigated. Touch up painting is needed.

SIGNIFICANCE: One of many

MAINTENANCE COST: \$3050

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 8

LOCATION: Kamehameha Street

USE: Abandoned residence (only a portion left)

SIZE: Approx. 12 x 12

OWNERSHIP: State

DATE OF STRUCTURE: Unknown (1930?)

DESCRIPTION: The structure is a frame building (the remains of one) with a hip roof finished with rolled composition roofing material. The foundation consists of stone footings and posts. The small building is not used, and is in deteriorated condition. Removal is recommended, unless the structure can be turned over to a resident for storage use (if feasible).

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 9

LOCATION: Kamehameha Street

USE: Residence

SIZE: Approx. 900 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1931

DESCRIPTION: The structure is a one-story frame building of single wall construction, with foundations consisting of stone footings and posts. Wood steps with railings provide access to the recessed corner porch which is incorporated under the hip roof. One chamfered post and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with corner boards. A girt encircles the structure, and is broken by the wood frames of the double hung plank wall. The hip roof is finished with composition shingles. A partially enclosed wash house with a shed roof, and constructed on a concrete slab is located at the rear of the structure. The building is occupied and in fair condition. Termite damage should be repaired, and the settling footings should be stabilized. Vegetation should be cleared out from the base to discourage further termite activity and rot. The building should be fumigated and painted.

SIGNIFICANCE: One of many . . .

MAINTENANCE COST: \$6500

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 15

LOCATION: Kamehameha Street

USE: Residence

SIZE: Approx. 1100 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: 1936

DESCRIPTION: The structure is a one-story frame building of single wall construction, with foundations consisting of stone footings and posts. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. One post with a simple capital, and two chamfered pilasters articulate the edges of the porch. The corners of the building are finished with cornerboards. A girt encircles the structure, and is broken by the wood frames of the double hung windows which project several inches from the exterior of the vertical plank wall. The hip roof is finished with composition shingles. A partially enclosed wood porch with a shed roof is located at the rear of the structure. The building is occupied and in good condition. Termite damage should be repaired, as well as the settling footings. The building should be fumigated.

SIGNIFICANCE: One of many . . .

MAINTENANCE COST: \$3800

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 16  
LOCATION: Kamehameha Street  
USE: Abandoned residence  
SIZE: Approx. 800 sq. ft. OWNERSHIP: State  
DATE OF STRUCTURE: Unknown  
DESCRIPTION: The structure is a frame building of single wall construction.  
The building is so overgrown, that it is inaccessible without a machete.  
The structure is slated for demolition.

SIGNIFICANCE: None - removal is recommended

MAINTENANCE COST: No estimate  
FUTURE MAINTENANCE COST: No estimate  
DATE OF REPORT: January 27, 1977



STRUCTURE: Building 20

LOCATION: Kamehameha Street

USE: Residence

SIZE: Approx. 700 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1937

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The foundations consist of stone footings. The structure has a main gable roof, with shed roof extensions. The roofing finish is rolled composition roofing material, which has been applied over wood shingles. The wood frame windows are double hung (twelve-light). A recessed porch is located on the west side of the building. The corners of the structure are finished with cornerboards. The north wall of the building is finished with wood shingles (unusual). The structure is in fair to poor condition, and has not been occupied for several months. Vegetation should be cleared from the base, termite damage should be repaired and the roof should be resingled. The building should be painted and fumigated.

SIGNIFICANCE: Good example of an old type, and in salvagable condition. Rehabilitation is recommended.

MAINTENANCE COST: \$14,900

FUTURE MAINTENANCE COST: \$400/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 21

LOCATION: Behind Mormon Church

USE: Residence

SIZE: Approx. 600 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: Unknown (1937, according to Ogawa reports)

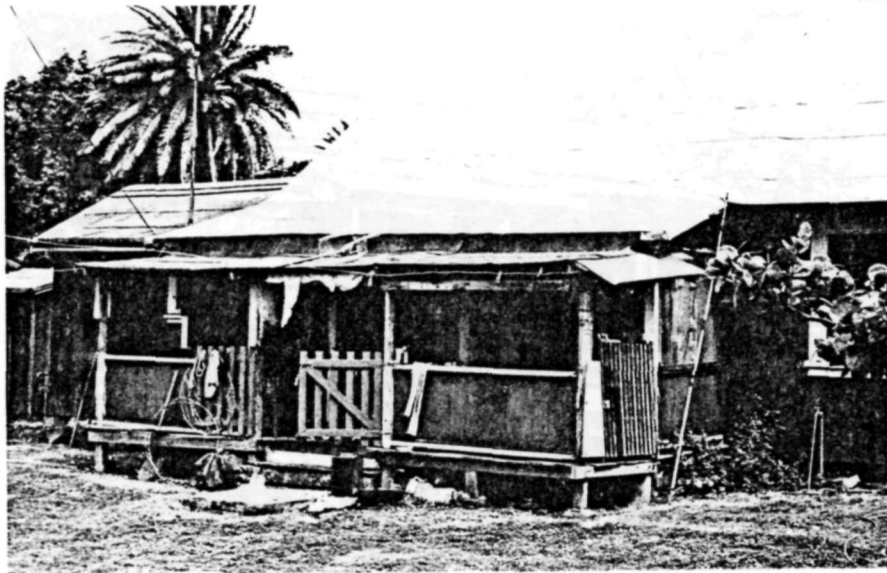
DESCRIPTION: The structure is a frame building of single wall construction. The exterior finish is board and batten. The foundation consists of stone pads. The gable and shed roofs are finished with rolled composition roofing material. A veranda runs the length of the front of the building. A small addition with a gable roof is attached to the southeast corner of the building. The structure is in very deteriorated condition, and is occupied. Fumigation and minimal maintenance is recommended until the structure is no longer occupied.

SIGNIFICANCE: The date should be checked, just in case the building dates back much further than suspected. In any case, it is not one of the key buildings of the settlement, and preservation is not recommended.

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$600/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 22

LOCATION: Behind Mormon Church

USE: Residence

SIZE: Approx. 850 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

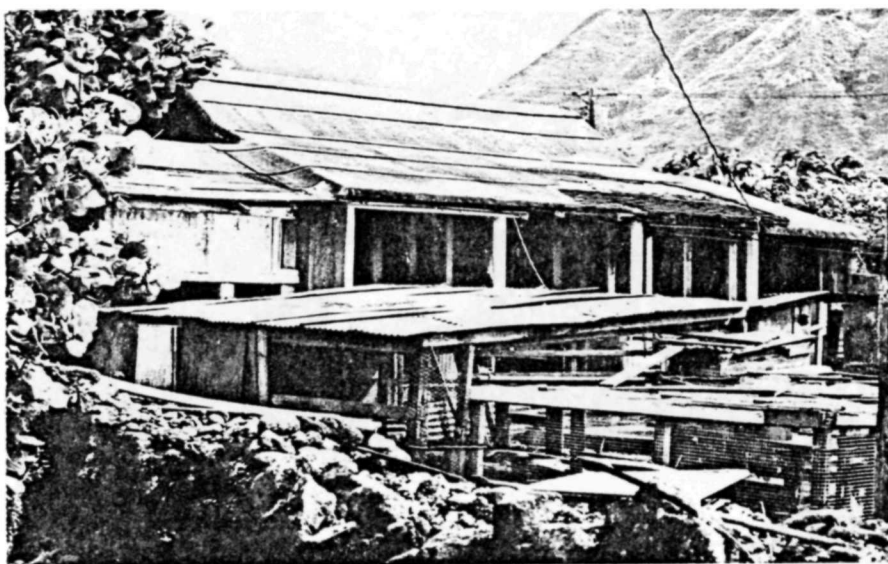
DESCRIPTION: The structure is a one-story building of single wall construction. The exterior finish is board and batten. The multiple gable and shed roofs of the structure are finished with rolled composition roofing material. The foundation consists of stone and concrete footings. The building is in a cruciform shape. The main section of the building has a recessed veranda at the west side. The wood frame windows are double hung (twelve-light). The structure is occupied, and in poor condition. The structure seems to be riddled with termites. Minimal maintenance, such as painting, fumigation and re-roofing would be done as long as the structure is occupied.

SIGNIFICANCE: Old vernacular, but considerably altered. In any case, check date and historical significance before removal.

MAINTENANCE COST: \$800

FUTURE MAINTENANCE COST: \$600/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 23

LOCATION: Behind Mormon Church

USE: Chicken coop

SIZE: Approx. 600 sq. ft. OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior. The multiple gable and shed roofs are finished with rolled composition roofing material, which has been applied over wood shingles. The foundations consist of stone footings. The wood frame windows are double hung (twelve-light). A recessed porch is located on the west side of the structure. The structure is in very deteriorated condition, and is used as a chicken coop. Removal is recommended when the building becomes a safety hazard.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 27, 1977





STRUCTURE: Building 25

LOCATION: off, Kamehameha Street, near construction camp

USE: Residence

SIZE: Approx. 900 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1936

DESCRIPTION: The structure is a one-story building of single wall construction, with a pad and post foundation. Stone and concrete steps provide access to the recessed corner porch which is incorporated under the hip roof. One chamfered post and one chamfered pilaster finish the open edges of the porch. The southeast side of the porch is walled with wood frame windows. The corners of the building are finished with corner-boards. A girt encircles the structure, and is broken by the wood frames of the double hung windows which project several inches from the exterior of the vertical plank wall. The hip roof is finished with composition shingles. A partially enclosed porch is located at the rear of the structure. The steps up to the porch is located at the rear of the structure. The steps up the porch have recently been replaced. The building seems to be in fair condition, although it is settling. The structure should be stabilized, fumigated. Termite damage should be repaired, and the building should be painted.

SIGNIFICANCE: One of many . . .

MAINTENANCE COST: \$3400

FUTURE MAINTENANCE COST: \$500/annum

DATE OF REPORT: January 27, 1977



STRUCTURE: Building 256

LOCATION: Kamehameha Street

USE: Residence (intermittent)

SIZE: Approx. 600 sq. ft.

OWNERSHIP: State

DATE OF STRUCTURE: 1935

DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The foundation consists of concrete footings and posts. The hip roof is finished with red composition shingles. The wood frames of the double hung twelve-light windows projects several inches from the exterior of the structure. An enclosed porch is incorporated into the west side of the building under the hip roof. The corners of the structure are finished with cornerboards. The structure is unoccupied most of the time, and is in fair to poor condition. Termite damage should be repaired; the building should be fumigated and painted.

SIGNIFICANCE: None

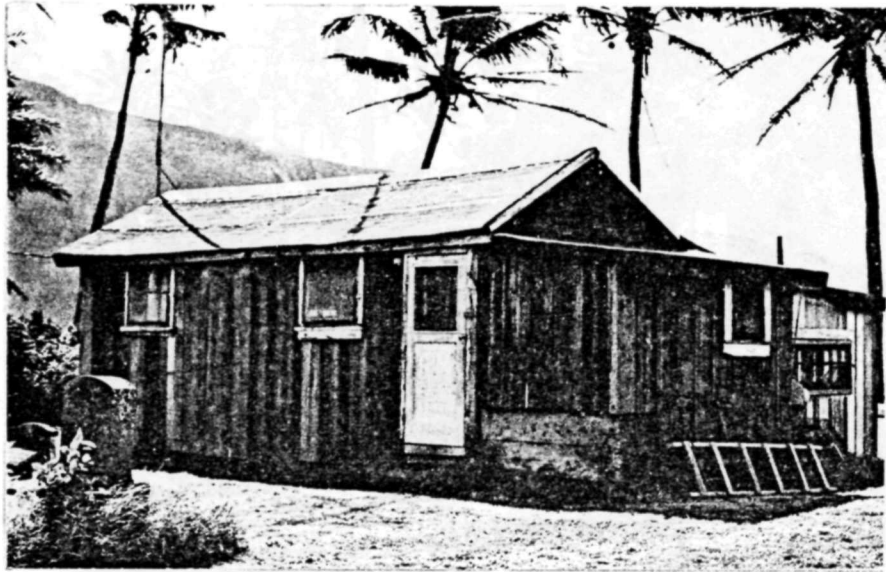
MAINTENANCE COST: \$9340

FUTURE MAINTENANCE COST: \$400

DATE OF REPORT: January 27, 1977

# **OTHER PENINSULA AREAS**

**(Private Structures)**



STRUCTURE: Building 671

LOCATION: Airport Road

USE: Beach house

SIZE: Approx. 20 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with walls of board and batten or vertical plank siding. The foundation consists of poured concrete, and stone footings and wood posts. The gable and shed roofs are finished with rolled composition roofing material. The wood frame windows are mainly pivoting, six-light. The structure is used frequently, and is in fair to poor condition.

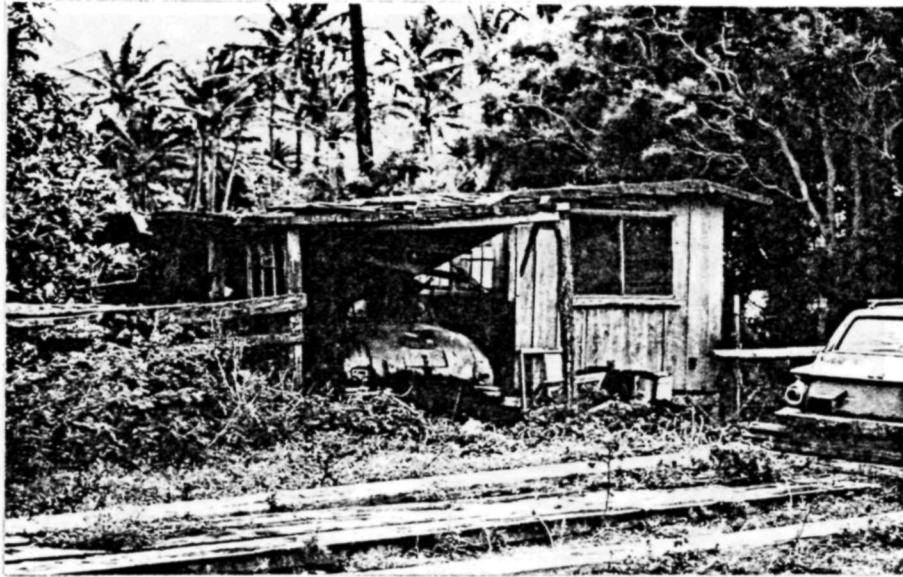
SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 682

LOCATION: Airport road

USE: Storage shed

SIZE: Approx. 20 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with board and batten and vertical plank siding. The foundations consist of stone and concrete footings. The building is divided into two sections- one garage and one general storage area. The shed roofs are finished with the remains of rolled composition roofing material. The building is in very deteriorated condition, and seems to have been abandoned.

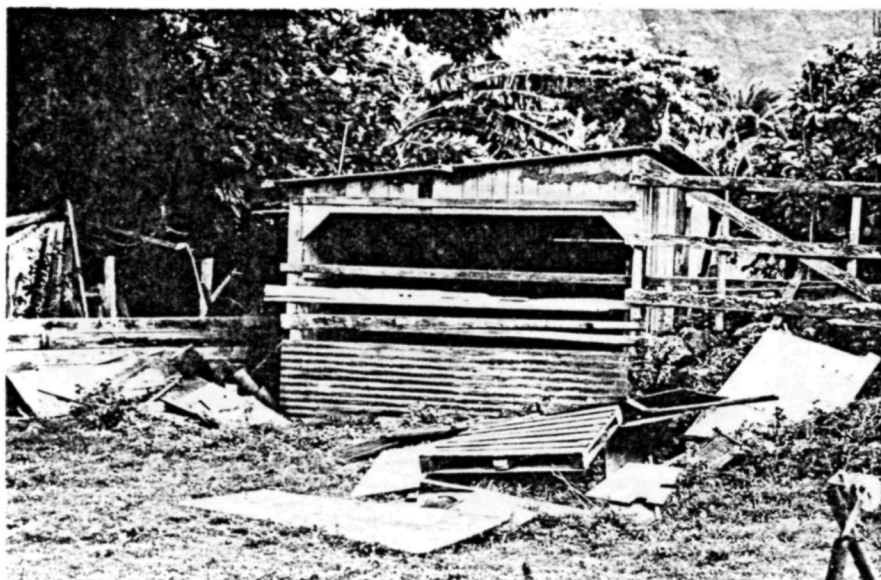
SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 683

LOCATION: Airport Road

USE: Storage (abandoned?)

SIZE: Approx. 10 x 15

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building os single wall construction, with vertical plank siding. The shed roof is covered with corrugated metal. The previously open (garage) entrance has been boarded up with planks and corrugated metal sheets, presumably to keep out the cattle which graze next to the building. The structure is in deteriorated condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976

[illegible]



STRUCTURE: Building 687

LOCATION: Airport Road, across from picnic pavillion

USE: Restroom

SIZE: Approx. 10 x 20

OWNERSHIP: Kalaupapa Lion's Club

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is built of stone and concrete blocks with a shed roof covered with corrugated metal. The foundation is concrete. Masonry (lava-rock) baffles shelter the three entrances to the restroom areas--men, women, and visitors. The structure is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 689

LOCATION: Airport Road

USE: Abandoned (house?)

SIZE: Approx. 12 x 25

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with walls of vertical plank siding, some finished with wood shingles. The gable and shed roofs, once covered with wood shingles, are nearly completely bare of shingles. Only furring strips remain. The structure is very deteriorated and about to collapse.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 690

LOCATION: Airport Road

USE: Storage Building

SIZE: Approx. 7 x 7

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building os single wall construction,  
with walls of recycled vertical plank siding. The shed roof is finished  
with rolled composition roofing material. The foundation is a concrete  
slab. The structure is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 691

LOCATION: Airport Road

USE: Beach house

SIZE: Approx. 25 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

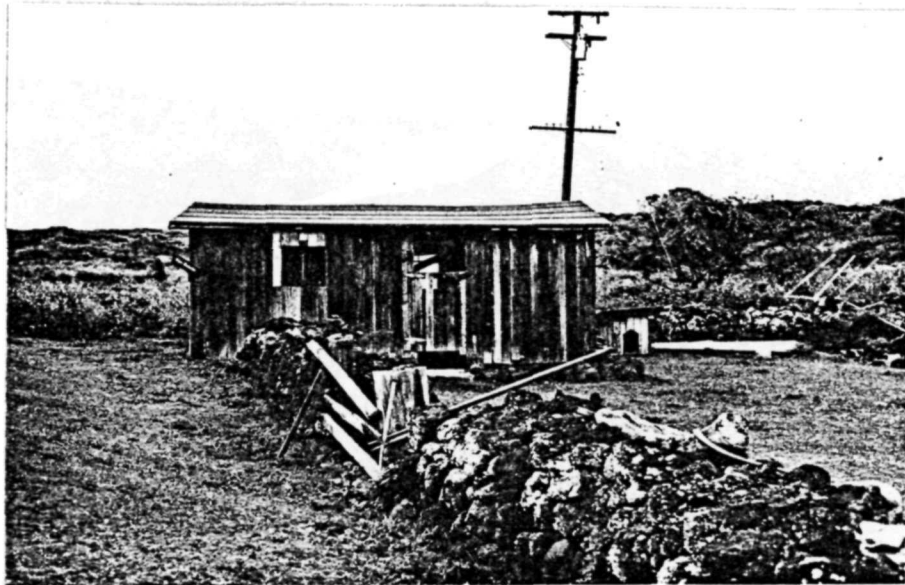
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish, with board and batten and vertical plank siding. A water table at the sole plate encircles the structure. The intersecting hip and shed roofs are finished with rolled composition roofing material. The foundations consists of stone footings, and a small concrete slab under one section of the building. The structure is used intermittently, and in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 692

LOCATION: Airport Road

USE: Garage

SIZE: Approx. 15 x 20

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

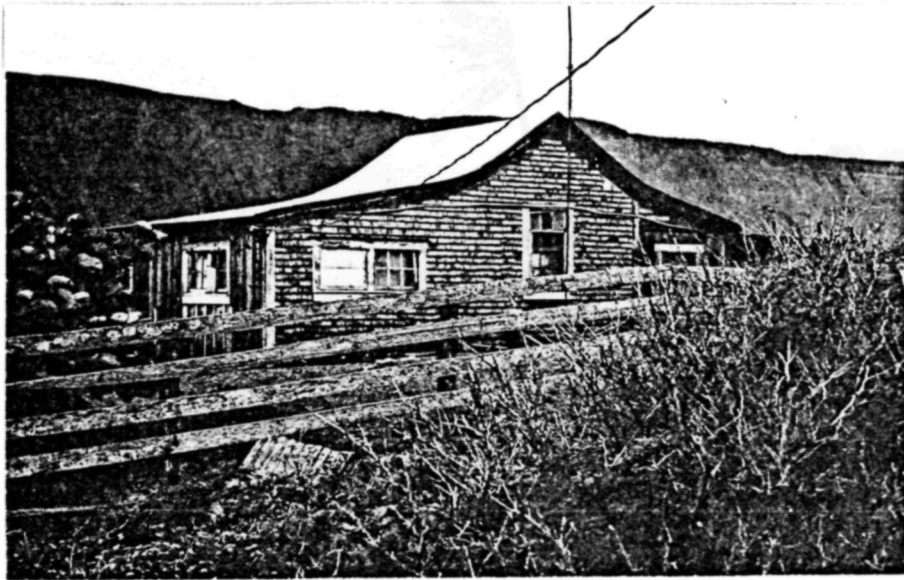
DESCRIPTION: The structure is a frame building of single wall construction, with foundations consisting of concrete footings. The gable roof is finished with rolled composition roofing material. The northwest end of the building is an open wall. The structure received very little use, and is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 693

LOCATION: Airport Road

USE: Beach house

SIZE: Approx. 20 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with exterior wall sections varying from board and batten to vertical plank siding to wood shingle finishes. The foundation consists of stone footings and wood posts. The gable and shed roofs are finished with composition shingles. The structure receives intermittent use, and in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 694

LOCATION: Airport Road

USE: Beach house

SIZE: Approx. 15 x 20

OWNERSHIP: State

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction.

The walls are plywood, and the gable roof is finished with wood shingles.

There are several jalousie windows, and louvers for ventilation are

located at the gable ends. The foundations consist of concrete pads

and wood posts, and some temporary wood foundations. The structure seems

to be in fair condition, and perhaps is still under construction.

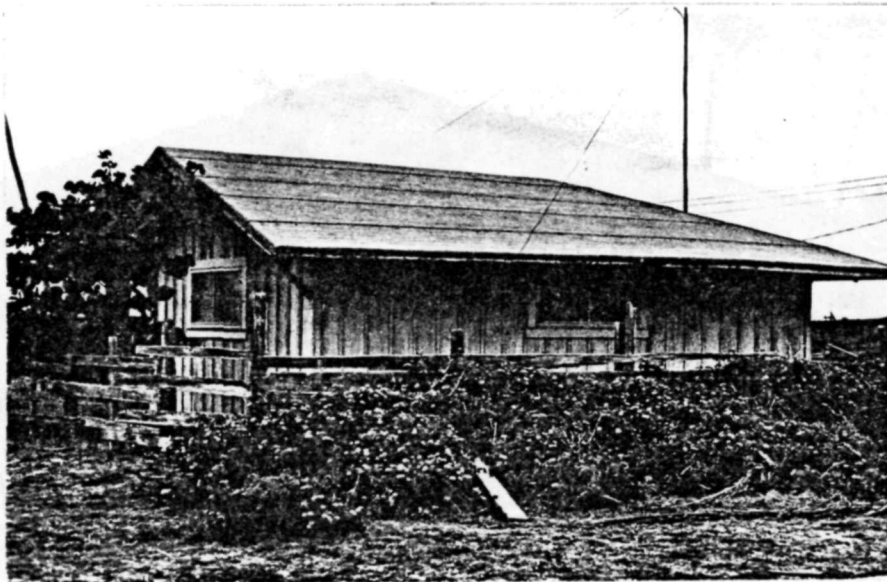
SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 695

LOCATION: Airport Road

USE: Beach house

SIZE: Approx. 20 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

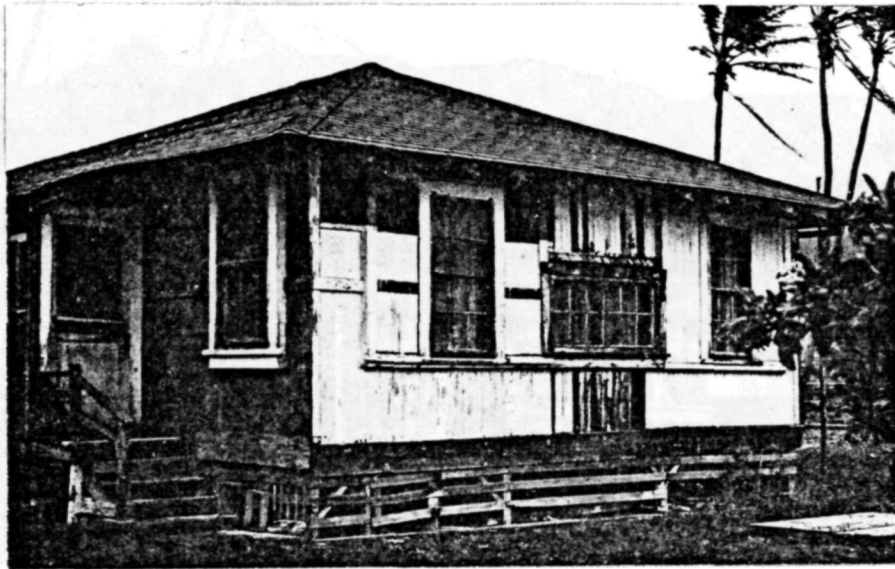
DESCRIPTION: The structure is a frame building of single wall construction, with a board and batten exterior finish. The combination gable-hip roof is finished with rolled composition roofing material. The building receives intermittent use, and seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 696

LOCATION: Airport Road

USE: Beach house

SIZE: Approx. 30 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a hip roof finished with composition shingles. The sole plate of the building is surrounded by a water table. A broken girt encircles part of the building. The structure seems to have been recycled in several ways - the building proper is very similar to one of the types of residences in the settlement (cf. Building 11, Bay View), so that it probably was moved from there when it was scrapped, sheds have been attached in at least two places, and wall sections have been replaced with other recycled materials. The building is in fair to poor condition, and received intermittent use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 697

LOCATION: Airport Road

USE: Storage Buildings

SIZE: Approx. 10 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

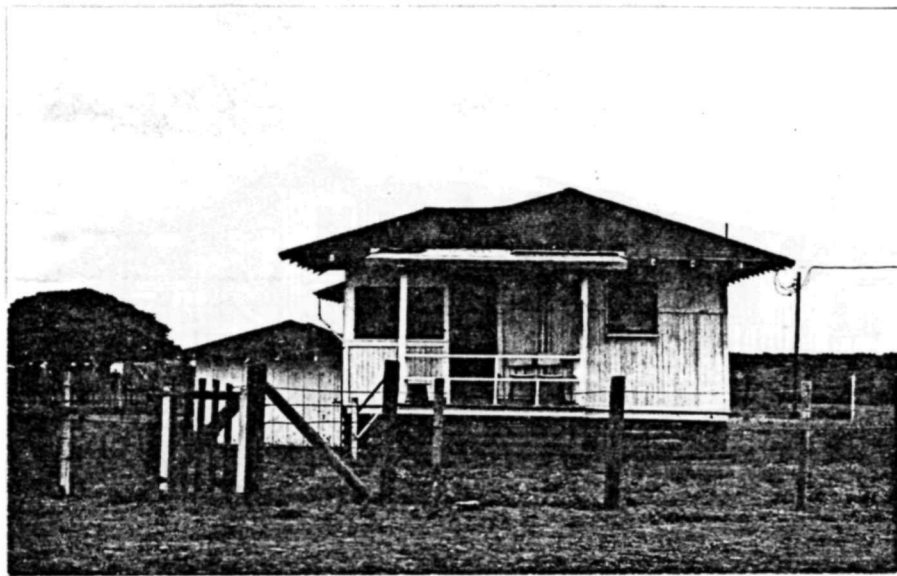
DESCRIPTION: The structure is a frame building, constructed of recycled materials (vertical plank siding, board and batten). The shed roof of the single-wall building is finished with green rolled composition roofing material. At least a part of the building has a concrete slab foundation. Any other foundations are obscured by vegetation. The structure is in deteriorated condition, and seems to be abandoned.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 698

LOCATION: Airport Road

USE: Beach house

SIZE: Approx. 20 x 25

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

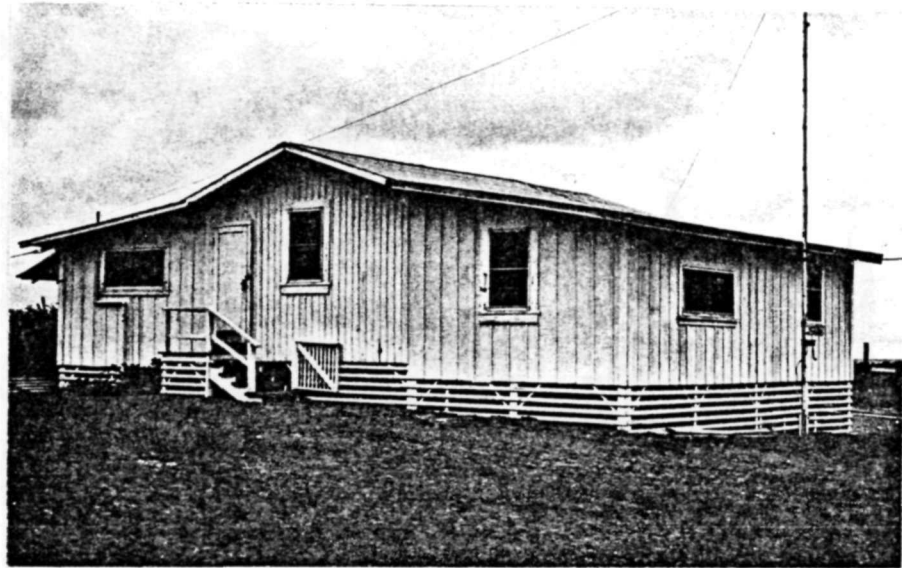
DESCRIPTION: The structure is a frame building of single wall construction.  
The vertical plank siding is surrounded by a broken girt. A water table  
encircles the sole plate. The combination of hip and shed roofs are  
finished with composition shingles. The structure receives intermittent  
use, and seems to be in fair condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 699

LOCATION: Airport Road

USE: Beach house

SIZE: Approx. 25 x 30

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with an exterior finish of board and batten. The combination of gable and shed roofs are finished with composition shingles. The foundations consist of concrete footings. The central section of the building (located under the gable) has walls which are finished in the same manner as those in Buildings 5 and 8, Staff Row (Dining Hall and Residence). A portion of this building might have been taken from Staff Row. The building receives intermittent use, and seems to be in fair condition.

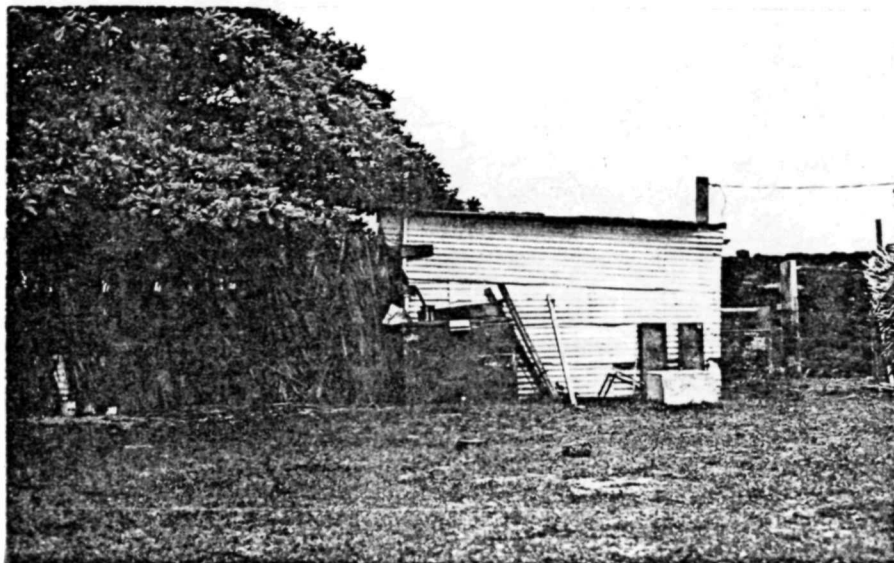
SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976





STRUCTURE: Building 700

LOCATION: Airport Road

USE: Storage Building

SIZE: Approx. 10 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building, with corrugated metal walls and shed roof. A 10 x 30 wind baffle, constructed of wood, corrugated metal and coconut palms leaves is located makai. The structure is used infrequently, and is in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 719

LOCATION: Kalawao

USE: Picnic Pavilion

SIZE: Approx. 24 x 30

OWNERSHIP: Kalaupapa Lions' Club

DATE OF STRUCTURE: Unknown

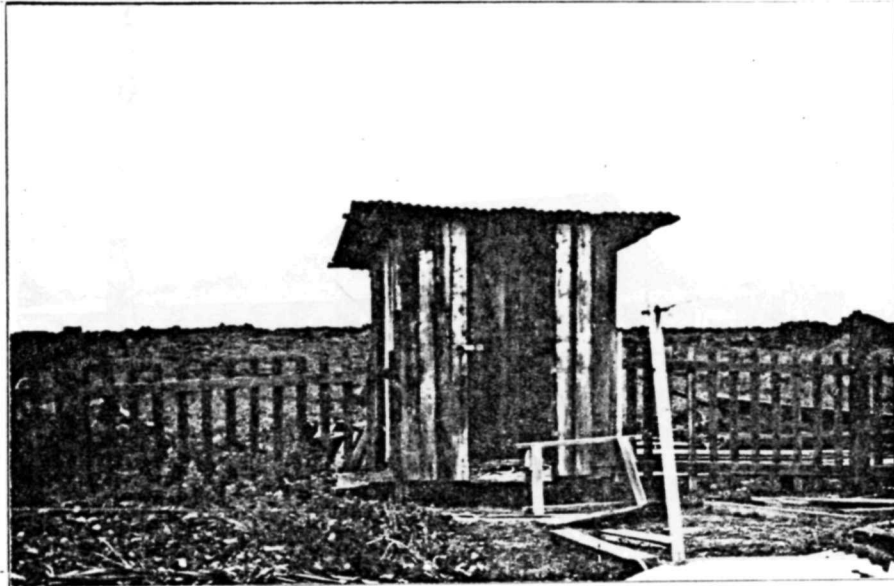
DESCRIPTION: The structure is a frame picnic shelter with a hip roof. The roof is covered with corrugated metal. One corner of the building has been walled-up and houses a restroom. The rest of the structure is open. The foundation consists of footings and posts. The wood floor, elevated approximately two feet above grade, is termite-ridden. The building receives daily use, and is in fair to poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 701

LOCATION: Airport Road

USE: Shed (storage?)

SIZE: Approx. 6 x 6

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with a shed roof covered with corrugated metal. The foundation consists of stone pads. The building is constructed of recycled materials, and seems to be in poor condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 702

LOCATION: Airport Road

USE: Beach house

SIZE: Approx. 40 x 40

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, with walls of vertical plank siding. The gable and multiple shed roof are finished with rolled composition roofing material, which in most cases has been applied on top of rotted wood shingles. The structure seems to have been built of recycled materials, and is in very deteriorated condition. The building is no longer used.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 710

LOCATION: Kalawao

USE: Siloama Protestant Church (United Church of Christ)

SIZE: Approx. 800 square feet OWNERSHIP: United Church of Christ

DATE OF STRUCTURE: 1871, rebuilt 1880. Completely reconstructed 1966

DESCRIPTION: The structure is a frame building of double wall construction, with a stone foundation. The gable roof, which is finished with corrugated metal has boxed cornices with return ends. The exterior is sheathed with horizontal channel siding. The corners of the building are finished with corner boards. A square tower supports the octagonal steeple (lower section - octagon with louvers, upper section - proper steeple covered with wood shingles). A gabled entrance portico constructed on a concrete slab and with one concrete step, provides access to the four-paneled double doors which serve as the main entrance to the building. The twelve-light double hung windows are capped with decorative lintels on the exterior. Rectangular louvers are located in the gable ends. The base of the structure is surrounded by a sole plate. The structure usually receives daily visits by the tour groups, and is used intermittently for religious services. The building is in good condition, but needs fumigation and could use some minor touch-up work (roofing and painting).

SIGNIFICANCE: All of the above dates should be checked. The 1966 reconstruction was not according to the same specifications with which the 1880 church was built. The 1880 church, from photographs seems to have a lower roof pitch. The louvers in the gable ends are square, not rectangular. The front entrance has no portico over the door. The door treatment is entirely different - with a decorated lintel (nearly a pediment) in the same design as that over the windows. The painting scheme of the 1880 structure seems to be a darker color (grey or green?). The doors are painted very dark (brown or black?) and the panel sections are light (white or tan?). The square tower which supports the octagonal steeple was covered with wood in a herringbone pattern.

MAINTENANCE COST: The reconstruction was not an accurate one \$2,500

FUTURE MAINTENANCE COST: \$600/annum

DATE OF REPORT: January 28, 1977



STRUCTURE: Building 716

LOCATION: End of airport runway

USE: Beach house (abandoned?)

SIZE: 25 x 40?

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure was not visited due to time limitations. The building seems to be a frame structure of single wall construction. The roofs are a combination of gable and shed and seem to be finished with rolled roofing material. The structure was only viewed from a distance, and was not photographed.

SIGNIFICANCE: None. There have been some words at the settlement to the effect that the building is constructed on a heiau (?) or some other spiritual area.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 28, 1977

STRUCTURE: Building 717

LOCATION: Coast, between Siloama and Lighthouse

USE: Beach house

SIZE: 30 x 40

OWNERSHIP: \_\_\_\_\_

DATE OF STRUCTURE: Unknown

DESCRIPTION: Slide taken. Deteriorated condition. The structure is a frame building of single wall construction with gable and shed roofs. The building receives intermittent use and is in poor condition

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 28, 1977

STRUCTURE: Building 718

LOCATION: Makai Siloama

USE: Beach house

SIZE: 20 x 40?

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure was not visited, due to time limitations. From a distance, it seems to be a frame structure of single wall construction. Foundation is unknown. Roofs are combination of gable and shed. No photo was taken.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 28, 1977



STRUCTURE: 720

LOCATION: Kalawao (behind Siloama)

USE: Restrooms

SIZE: 6 x 10 and 8 x 10

OWNERSHIP: Private

DATE OF STRUCTURE: Unknown

DESCRIPTION: Two wood frame restrooms, with shed roofs. Poor condition, deteriorated by rot and termites. One restroom for kokua, one restroom for patients.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

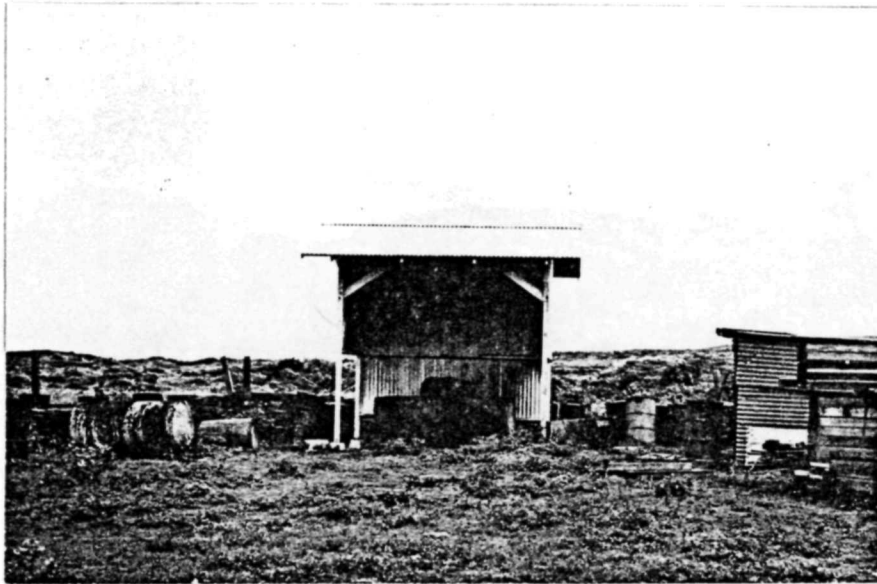
FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 1977

# **OTHER PENINSULA AREAS**

**(State—Owned Structures)**

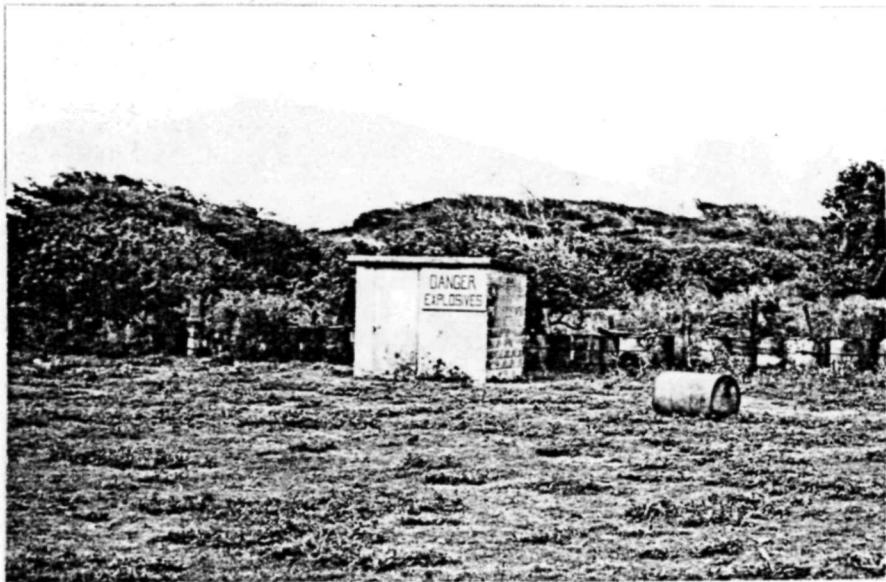




STRUCTURE: Building 684  
LOCATION: Old landing field  
USE: Storage  
SIZE: Approx. 7 x 10 OWNERSHIP: State  
DATE OF STRUCTURE: Unknown  
DESCRIPTION: The structure is a wood frame with corrugated metal walls and gable roof. One side of the structure is completely open to the elements. The building is still in use and houses a watering trough for the cattle which graze there. The structure seems to be in good condition.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate  
FUTURE MAINTENANCE COST: No estimate  
DATE OF REPORT: October 14, 1976



STRUCTURE: Building 686  
LOCATION: Old landing field  
USE: Storage for explosive material  
SIZE: Approx. 5 x 7 OWNERSHIP: State  
DATE OF STRUCTURE: Unknown  
DESCRIPTION: The structure is built of concrete block with a metal door and metal shed roof. The building is still used and seems to be in fair condition for its use.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate  
FUTURE MAINTENANCE COST: No estimate  
DATE OF REPORT: October 14, 1976

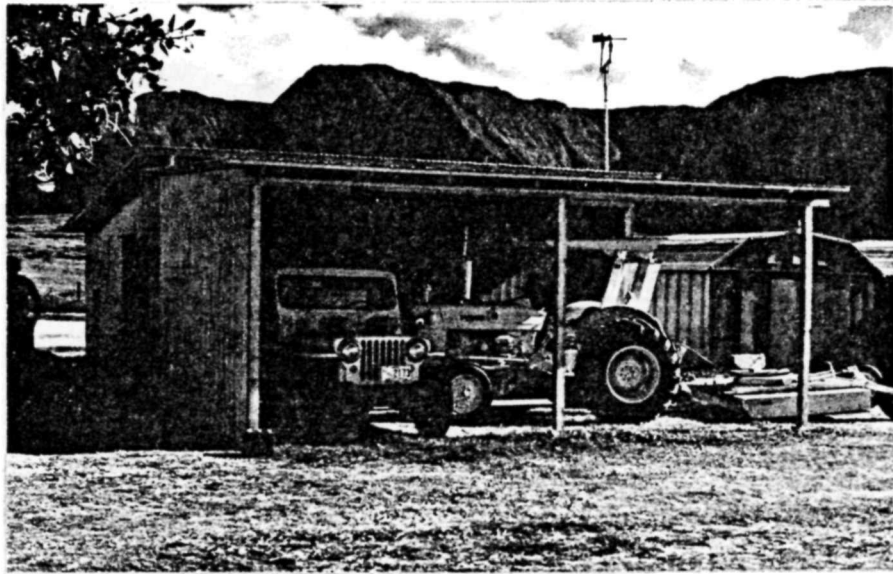


STRUCTURE:	Building 703		
LOCATION:	Airport		
USE:	Airport Terminal		
SIZE:	Approx. 1200 sq. ft.	OWNERSHIP:	Department of Transportation
DATE OF STRUCTURE:	Unknown		

DESCRIPTION: The structure is a frame building of single wall construction, with a concrete slab foundation. The hip roof is finished with green composition shingles, and is extended over verandas on sides of the structure. The exterior wall finish is asbestos siding. The wood frame jalousie windows are paired. Most of the north side of the building is open. The structure houses a waiting area for leaving and arriving passengers and restrooms for visitors. The building receives daily use and seems to be in good condition, although it should be fumigated and have small areas painted.

SIGNIFICANCE: None

MAINTENANCE COST: \$1370  
FUTURE MAINTENANCE COST: \$300/annum  
DATE OF REPORT: January 28, 1977



STRUCTURE: Building 704

LOCATION: Airport

USE: Storage and office space

SIZE: Approx. 2000 square feet OWNERSHIP: State Department of Transportation

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction. Siding is corrugated metal or vertical plank. The shed roof is covered with corrugated metal. A "carport" with a shed roof was added to the front of the building just before January to house the runway maintenance equipment.

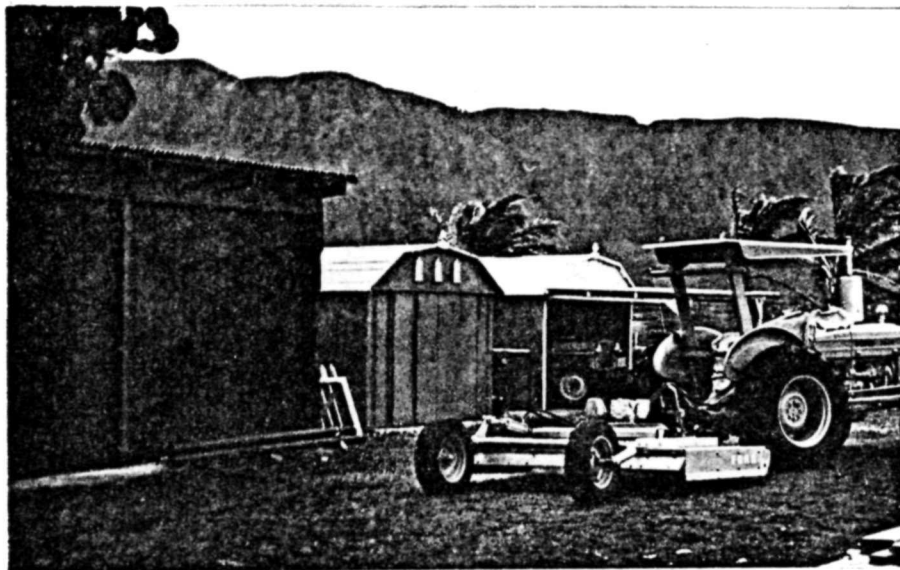
The structure is in fair condition, and is maintained by the Department of Transportation.

SIGNIFICANCE: None

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 15, 1977



STRUCTURE: Building 705

LOCATION: Airport

USE: Storage

SIZE: 8 x 10 OWNERSHIP: Department of Transportation

DATE OF STRUCTURE: Unknown (very recent)

DESCRIPTION: Actually two metal sheds, ordered directly from the Sears catalog, according to the Airport Manager. Both were constructed on concrete slab and have gambrel roofs. The shed to the southwest has a shed roof extension to house equipment. The sheds are in fair condition but have undergone some damage. Replacement by shelters more adequate for the purpose is planned in the near future.

SIGNIFICANCE: None

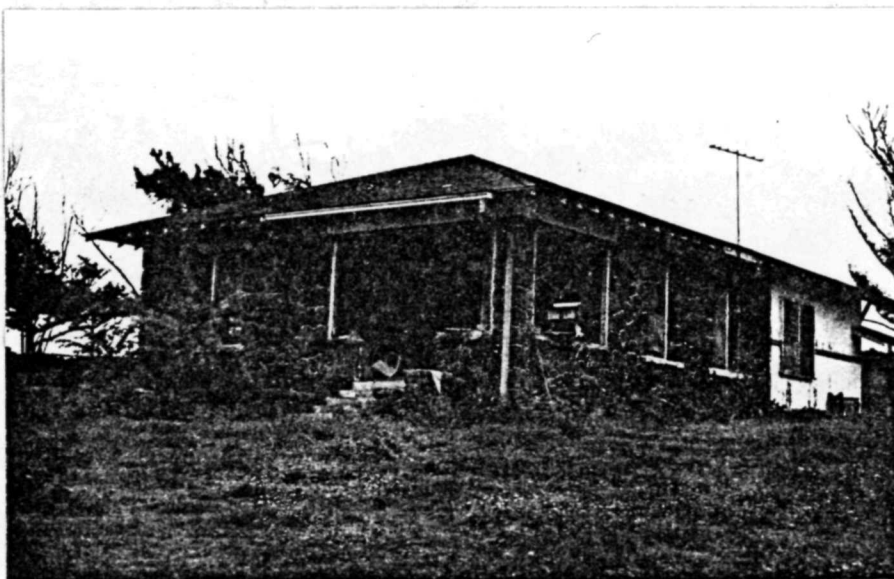
MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 28, 1977







STRUCTURE: Building 707

LOCATION: Lighthouse area

USE: Residence (intermittent)

SIZE: Approx. 1200 sq. ft. OWNERSHIP: G.S.A.

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a single story rubble masonry building (or possibly wood frame with rubble veneer), with a stone foundation. Stone and concrete steps provide access to the recessed corner porch (main entrance) which is incorporated under the hip roof. The roof is finished with asbestos shingles. Arched openings at the base of the structure make the crawl space accessible. Wall openings (windows and a door) are edged with reinforced concrete lintels and sills. An addition to the rear of the building is constructed of wood frame on a concrete slab. A girt, broken by the wood frame windows, encircles the addition. The building seems to be in fair to poor condition.

SIGNIFICANCE: Without the addition, the structure is remarkably similar to the Kalaupapa residences constructed in the 1930's, but with a stone veneer. Maintenance needs were noted, but no estimate was done (see building work sheets).

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 28, 1977



STRUCTURE: Building 708

LOCATION: Lighthouse area

USE: Storage

SIZE: Approx. 9 x 12

OWNERSHIP: G.S.A.

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, built on a concrete slab. The walls are vertical plank siding. The gable roof is finished with corrugated metal. The single door has five panels. The windows have wood frames. The structure is in fair to poor condition.

SIGNIFICANCE: Probably a fairly recent structure, thus none.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: January 28, 1977



STRUCTURE: Building 709

LOCATION: Lighthouse area

USE: Garage and storage

SIZE: Approx. 12 x 20 OWNERSHIP: G.S.A.

DATE OF STRUCTURE: Unknown

DESCRIPTION: The structure is a frame building of single wall construction, built on a concrete slab. The gable roof is finished with composition shingles. Louvers are located at the gable ends. The walls are vertical plank siding. The building is used and in poor condition.

SIGNIFICANCE: Unknown, probably none.

MAINTENANCE COST: No estimate

FUTURE MAINTENANCE COST: No estimate

DATE OF REPORT: October 14, 1976



STRUCTURE: Building 711

LOCATION: Kalawao

USE: St. Philomena Catholic Church (no longer in use for services).

SIZE: Approx. 2520 square feet OWNERSHIP: State

DATE OF STRUCTURE: 1872, 1876, tower rebuilt 1888-89

DESCRIPTION: The church is a frame and stone building, constructed in two stages. The frame section has a concrete porch, with stone footings for the foundation. The 1876 section has masonry walls, approximately 30 inches in thickness. Interior and exterior of the masonry wall are coated with a plaster finish. A central tower is the main feature of the front of the structure. The windows and door openings of this section have gothic pointed arches. Windows in the older wood frame section are rectangular double-hung (twelve-light). Gable roofs of the L-shaped building are covered with corrugated metal. The tower is finished with a small railing which has a traditional diamond pattern. The interior of the building has fluted Corinthian columns with octagonal bases, and barrel vaulting. The structure is in poor condition. Stabilization should be undertaken immediately. The building should be fumigated. Many of the windows need re-framing. Foundations (wood sections) are in great need of repair, as is the tower parapet. The interior and exterior should be painted.

SIGNIFICANCE: Most importantly of historical significance, national level. Built by Brother Victorin Bertrant, enlarged (stone) by Damien, tower rebuilt mainly by Brother Dutton. Architecturally, the structure lacks continuity (too great a variety of materials and forms); the historical and cultural significance far outweigh the architectural significance.

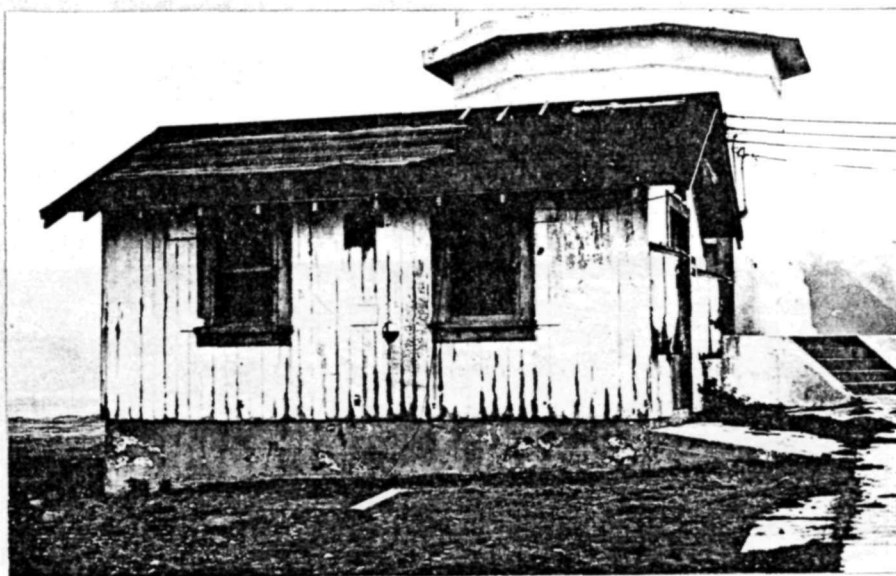
MAINTENANCE COST: \$21,000

FUTURE MAINTENANCE COST: \$1,000

DATE OF REPORT: January 28, 1977







STRUCTURE: Building 713

LOCATION: Lighthouse area

USE: Generator Building (abandoned)

SIZE: Approx. 18 x 14 OWNERSHIP: Coast Guard or G.S.A.

DATE OF STRUCTURE: Unknown (1909?)

DESCRIPTION: The structure is a frame building of single wall construction, constructed on a concrete slab. The walls are vertical plank siding. The gable roof is finished with rolled composition roofing material, which has weathered away in several large areas, exposing the decking underneath. The wood frame windows are double hung (twelve light). The building was last painted in 1964. The double door at one gable end is deteriorated and open. Local cattle have taken advantage of that fact and constantly wander in and out. The building is in very deteriorated condition.

SIGNIFICANCE: Further research should be done to determine if this structure was part of the historic scene (it probably was not). Appropriate action should be delayed until that time.

MAINTENANCE COST: No estimate done

FUTURE MAINTENANCE COST: No estimate done

DATE OF REPORT: January 28, 1977





STRUCTURE: Building 715

LOCATION: Lighthouse area

USE: Molokai Light

SIZE: 138' high

OWNERSHIP: U.S. Coast Guard

DATE OF STRUCTURE: 1909

DESCRIPTION: The structure is a reinforced concrete tower, 138' high. The octagonal building is constructed on a larger octagonal base, which originally was enclosed with a railing. The octagonal tower rises up (189 step climb on the interior) to the light and its glass enclosure, and the exterior observation platform which surrounds it. The light, when operating at full power, is said to have the capacity of 2,500,000 candlepower. Conflicting records in the Coast Guard office have confirmed and denied this. The lens itself is a first or second order lens, however, Coast Guard records present conflicting information on this, also. The building is in fair condition, considering its severe exposure. The building seems to have some condensation and rust problems, but minor ones (compared to the Point Reyes Light, for example). The interior and exterior should be cleaned and painted.

SIGNIFICANCE: Architectural and historical. Save this building, and the light.

MAINTENANCE COST: \$15,000

FUTURE MAINTENANCE COST: \$2,000/annum

DATE OF REPORT: January 28, 1977

